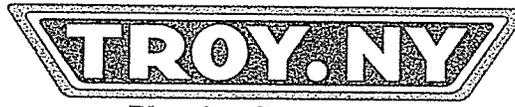


Barbara Nelson
Chair

Phone (518) 279-7168
Fax (518) 270-4642



Planning Commission
NOTICE of PUBLIC HEARING

William Dunne
Commissioner

Phone (518) 279-7166
Fax (518) 270-4642

Notice is hereby given that the Planning Commission of the City of Troy, New York will conduct a public hearing on **Thursday September 11, 2014 at 6:00 P.M.** in the Planning Department Hearing Room, 5th Floor, The Hedley Building, in order to hear and decide on proposals for development as follows:

PC2014-027 Final Site Plan Review of a proposal to construct a student housing facility. Project location is 45 Vandenburg Ave, an INST Zone, ID112.69-1-10. Applicant is Duncan Barrett (Omni Development) 40 Beaver Street, Albany, NY 12207.

PC2014-030 Site Plan Review of a proposal to reoccupy a bar. Project location is 121 4th Street, a B-4 Zone, ID101.61-2-1. Applicant is Mario Abate, 348 Loudonville Road, Loudonville, NY 12211.

PC2014-031 Site Plan Review of a proposal to construct a 10 car employee parking lot at 49 Oakwood Ave, a INST Zone, ID 101.23-4-4. Applicant is Vartan Jerian, 12 Oakwood Ave, Troy, NY 12180.

PC2014-032 Site Plan Review of a proposal to construct 67 apartments in an existing building located at 599 River Street, a HCD Zone, ID 101.22-1-4. Applicant is Dave Sadowsky for Community Builders, 97 Maxon Road, Petersburg NY 12138.

PC2014-033 Site Plan Review of a proposal to demolish an existing structure and reconstruct a new drive thru restaurant. Project location is 220 Hoosick Street, an HCD Zone, ID 101.32-7-1. Applicant is Peggy Savchik, 220 Hoosick Street, Troy, NY 12180.

Certificate of Appropriateness

462 Broadway - Donut Shop

18 2nd Street - NP Arch sign

79 4th Street – Uncle Sam Food façade

107 Congress - sign H&R Block

Should any unforeseen events occur, any of the proposals noted herein may not be reviewed at said hearing. Any proposals previously tabled by the Commission may be reviewed at this hearing without benefit of public notice. Any other proposals reviewed by the Commission at this hearing will receive publication in this newspaper at least five days prior to the hearing date.

Auxiliary aids and services are available for individuals or groups with disabilities. Please provide one-week advance notice for such service. For information contact the Troy Planning Department at 279-7168. Any person having interest in the above matters will be heard at said time and place.

Planning Commission of the City of Troy, New York
Andrew Petersen, Executive Secretary

Staff Report # PC2014-027

Applicant: Omni Development

Project Summary:

PC2014-027 Site Plan Review of a proposal to construct a student housing facility. Project location is 45 Vandenburg Ave, an INST Zone, ID112.69-1-10. Applicant is Duncan Barrett (Omni Development) 40 Beaver Street, Albany, NY 12207.

SEQRA : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

Prior Planning Board Action

Conceptual Review July 2014
Preliminary Approval August 2014

Prior Zoning Board

Site Design Review:

Applicant proposes to construct a 98 unit (330 bed) student housing facility. The facility is to be built on lands owned by Hudson Valley Community College but leased and operated by Omni Development.

SEQRA was completed by Hudson Valley Community College. A determination of Negative Declaration was adopted.

The applicant will construct on the site of the former Seminary and currently vacant building at 45 Vandenburg Ave. A study was completed that indicated the adaptive reuse of the current building was not feasible. Demolition is not part of the commissions prevue.

The site will consisted off terraced parking areas to provide 163 parking spaces of which 83 are required.

Building will be 4 stories in height with walk out basements, terraced placed to the front of the site at the intersection of Vandenburg and Morrison Aves. All parking will be placed in the rear of the building. Access to the site will be via existing curb cut on Morrison Ave and new curb cut at intersection of Campbell's Ave and Vandenburg Ave.

Project meets all zoning requirements for the INST Zone.

Stipulations

All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.

Barbara L. Nelson, AIA
Troy Planning Commission Chair

433 River Street
Troy, NY 12180
planningcommission@troyny.gov
518-276-6041

MEMO

to: Bill Dunne
Andrew Petersen
Andrew Donovan
date: September 4, 2014
re: Omni Development -HVCC Student Housing Site Plan Application
case no.: PC2014-027

Following is my list of recommended stipulations based on my own compilation of concerns raised during the various meeting and hearings related to this case. Please review my comments to be sure they match with your records. And let me know if you have any edits. If there are none you may forward the document to the Omni development team.

A. Public Information-

Comment 01:

Omni will provide a website and phone number for the public to register their concerns throughout the construction process and will post the contact info prominently on construction signs.

Comment 02:

All information submitted by Omni or generated by the Planning Commission, the Zoning Board of Appeals, and/or the City Planning Department, related to this case, will be:

- posted on www.troyny.gov - Departments – Planning and Zoning
- available in hard copy for review in the office of the Planning Department, weekdays 9-4
public may contact Andrew Petersen, 279-7168 to schedule a time to review the materials

B. Adjacent Rights of Way and Pedestrian Safety-

Comment 03:

All new sidewalks constructed in the public right of way will be at least 5' wide.

Comment 04:

The existing sidewalk on Morrison Avenue is narrow and is obstructed by utility poles. The applicant will facilitate the relocation of poles so that the required minimum width is available for passage by pedestrians.

Comment 05:

The applicant and the city engineer will record the condition of adjacent streets prior to construction traffic and will make all repairs and restorations as deemed necessary by the City Engineer both during and after construction.

Comment 06:

The Morrison Ave access will be designed and constructed, with signage and obstructions, such that no left turn is possible exiting from the site onto Morrison. All eastbound traffic leaving the site will exit at the Vandenburg Ave access.

Comment 07:

The Vandenburg Ave access will be designed and constructed, with signage and obstructions, such that no left turn is possible exiting from the site onto Vandenburg. All northbound traffic leaving the site will exit at the Morrison Ave access.

Comment 08:

Wayfinding signage will be installed for vehicles coming to the site from 787, from South Troy and from Campbell Ave instructing drivers how to properly access the site.

Comment 09:

OMNI's traffic engineering consultant will provide the city with an assessment of the Dunkin Donuts access on Morrison Ave to determine if it can be reconstructed to accommodate only right turns in and right turns out. This does not mean that OMNI will or will not be asked to fund said improvements if they are deemed practical.

Comment 10:

The pedestrian walk signals at Morrison and Vandenburg will be retimed to provide a pedestrian only cycle during the times of day when pedestrian traffic is projected to be most prevalent. The applicant will bear the cost of the retiming if there is any.

Comment 11:

Residents report that the pedestrian walk signals at Morrison and Vandenburg are not functioning properly. The signals will be tested and repaired by the applicant if necessary. Signage indicating their use will be added if deemed necessary by the city engineer or city planning commissioner.

Comment 12:

Applicant will either provide a large bus shelter at the existing CDTA bus stop or coordinate with CDTA to construct it.

Comment 13:

Does HVCC have a contract ridership program for students and employees? If not, then applicant will advocate for HVCC to implement one.

Comment 14:

All crosswalk markings in the vicinity of the project will be inspected prior to occupancy and if they are in need of replacement at that time, the applicant will have them replaced with heavy duty, highly reflective adhesive markings.

Comment 15:

The Applicant will construct a pedestrian refuge island in the yellow striped area where Morrison meets Vandenburg. Design of the island must be reviewed and approved by the city engineer. The design intent will be to provide for pedestrian safety as well as to slow and tighten the turning movements of vehicles in the intersection.

Comment 16:

OMNI's traffic engineering consultants will evaluate the elimination of the southbound left turn only lane from Vandenburg into the Taco Bell parking lot. If it is deemed favorable from a pedestrian safety point of view, then the lane will be eliminated so that a pedestrian refuge island can be located in this crosswalk. Design of the island must be reviewed and approved by the city engineer and the Applicant will construct the work. The design intent will be to provide for pedestrian safety in the crosswalk as well as to slow and tighten the turning movements of vehicles in the intersection.

Comment 17:

The health of any street trees planted along the adjacent sidewalks will be evaluated and replaced or planted per Street Tree Committee recommendations.

Building Design

Comment 18:

An effort has been made to break up the scale of the building by using different material finishes and colors. Omni's architects shall also consider altering the window sizes and colors in different sections of the building. Even a slight variation in window sizes and pairings will aid in breaking up the scale of the building and giving the different colored sections a separate identity.

Comment 19:

Provide benches and trash receptacles throughout the site to encourage use of outdoor areas by residents

Comment 20:

Include indoor and outdoor bicycle parking facilities for residents. One bicycle parking space per three residents is suggested.

Comment 21:

To conserve water provide dual flush toilets and water efficient shower heads and faucets throughout the building.

Comment 22:

Install only Energy Star appliances throughout the building.

Landscape

Comment 23:

OMNI's landscape architects will schedule a meeting with Troy's Street Tree Committee to discuss their concerns, recommendations and ideas. The City Engineer will have authority to require reasonable revisions to the landscape plans based on the Street tree Committee's recommendations.

Comment 24:

Consider "green wall filtration systems" at any grade level air intakes.

Comment 25:

Reduce the need for pesticides and mowing with indigenous ground cover plantings

Comment 26:

If possible, plant trees soon after the demolition phase. This will give them a years maturity before occupancy

Comment 27:

Where shrubs are planted close to the building walls, select species that will not grow to obscure the windows and will not offer a hiding place to facilitate illegal access into grade level windows.

Comment 28:

Consider rain garden treatments between the parking tiers.

Comment 29:

Shade parking areas with tree canopy to the greatest extent possible.

Comment 30:

Tree species planted adjacent to the building shall be selected to achieve a height commensurate in scale to the building. The intent of this stipulation is to provide shade on the building surfaces and help shade light from the buildings windows at night from adjacent residences.

Hardscape & Parking

Comment 31:

Provide overflow parking on gravel areas delineated by signage. This parking will serve visitors and heavy traffic event days such as moving in and out. If these overflow spaces are heavily used on a regular basis then the city engineer may require that they be paved in the future.

Comment 32:

Provide priority parking proximate to building entries, for hybrid vehicles.

Comment 33:

Consider the use of solar panels to shade the parking lots in addition to trees

Comment 34:

Provide at least 2 charging stations for electric vehicles.

Comment 35:

Include recreational elements in the landscape plan such as a basketball, tennis or volleyball court, or a Frisbee field. Locate these elements internal to the site so they are not within 100' of any property line which abuts a residential area. If lights are provided at these recreational areas then the lights will have an automatic shut off curfew of 11:00pm

Comment 36:

Use pervious asphalt in the parking areas. Use of pervious asphalt on travelled driveways is recommended but not required.

Comment 37:

All new curbing installed along city rights of way will be 6" granite.

Comment 38:

Provide signage noting the historic nature of the burial ground and the need to leave it undisturbed

Lighting

Comment 39:

Protect all residential zones from lighting overflow.

Comment 40:

All exterior light fixtures will be specified to prevent night sky light pollution.

Noise

Comment 41:

Provide noise impact information for generators and transformers if they are to be provided.

Construction

Comment 42:

No on-street parking will be allowed for construction workers or deliveries. All construction related parking must be accommodated on site or at remote parking areas with carpool or shuttle arrangements.

Comment 43:

Limit construction hours to 7am- 5pm unless approved by City Engineer as needed for special construction events.

Comment 44:

Construction traffic will be limited to Morrison Avenue and Vandenburg Avenue. Do NOT allow left turn movements by construction vehicles into or out of the site access. Keep heavy construction

vehicles and deliveries OFF of any residential streets.

Comment 45:

Provide very clear signage to communicate the parking and traffic rules for daily workers and for deliveries, and emphasize these rules in project meeting with subcontractors

Comment 46:

The entire site is to be fenced and secured at all times throughout the demolition and construction process.

Post Occupancy Operations

Comment 47:

Store all snow removed from parking and walks on the property in a manner that the melt will not flow back into city rights of way. Locate snow piles to take advantage of storm water retention systems.

Comment 48:

Provide snow removal from all sidewalks adjacent to the property.

Comment 49:

Provide or arrange for others to provide snow removal from sidewalks along the east side Vandenberg Avenue between the Morrison Ave crosswalk and the entrance to the HVCC campus

Comment 50:

Discourage residents from smoking on sidewalks and near adjacent properties by providing a smoking area somewhere outside the building that is more than 100' from any property boundary. Provide benches and cigarette butt dispensers to reduce littering.

Comment 51:

Grant HVCC any permissions necessary to allow their public safety vehicle to traverse the project property on regular patrols, even if they are not allowed to take action on the property, their presence and observation will be a crime and nuisance deterrent.

Comment 52:

Encourage Troy police patrols and county sheriff to do the same. We understand that the project involves a ground lease from HVCC or Rensselaer County to Omni. In this case publicly funded patrols might be allowed to traverse the property.

Comment 53:

The exchange of dumpsters and removal of trash will not occur during commuter rush hours, or during early morning hours where the reverse alert beeping is obtrusive to adjacent residents.

NOTE – This list dated September 4 is offered for consideration and may be amended prior to site plan approval.

Staff Report # PC2014-030

Applicant: Mario Abate

Project Summary:

PC2014-030 Site Plan Review of a proposal to reoccupy a bar. Project location is 121 4th Street, a B-4 Zone, ID101.61-2-1. Applicant is Mario Abate, 348 Loudonville Road, Loudonville, NY 12211.

SEQRA : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

Prior Planning Board Action

Prior Zoning Board

Site Design Review:

Applicant proposes to reoccupy a vacant bar as BAR TROY
No interior or exterior work is proposed. Applicant proposes to continue operation of the bar that closed within the last 30 days.
Hours not to exceed 3AM

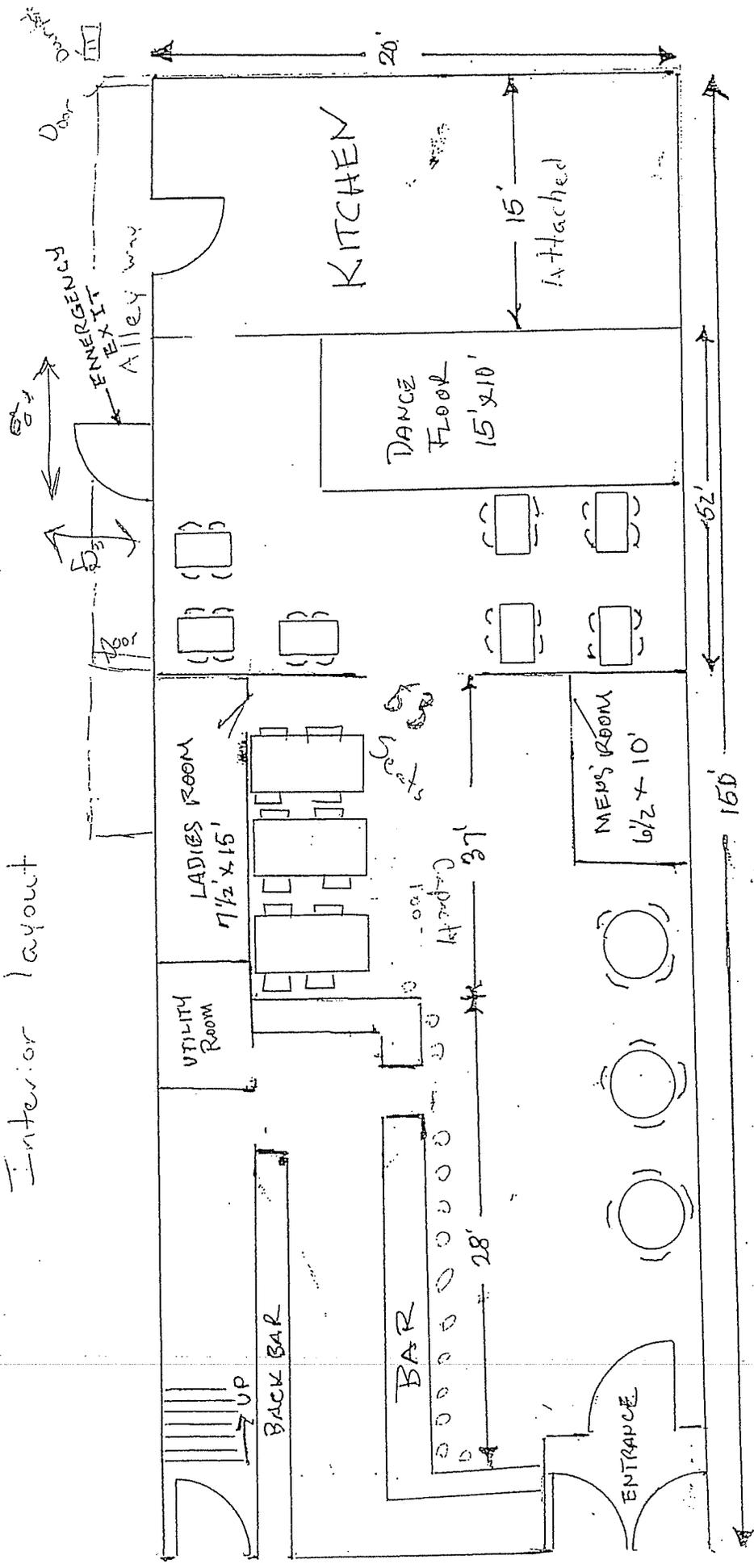
Stipulations

Hours not to exceed 3AM

All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.

BIBBITS, INC dba DUBLIN'S RESTAURANT LOUNGE
 121-A# ST TROY, NY. 12180

Interior layout



63 Seats
 100 Capacity

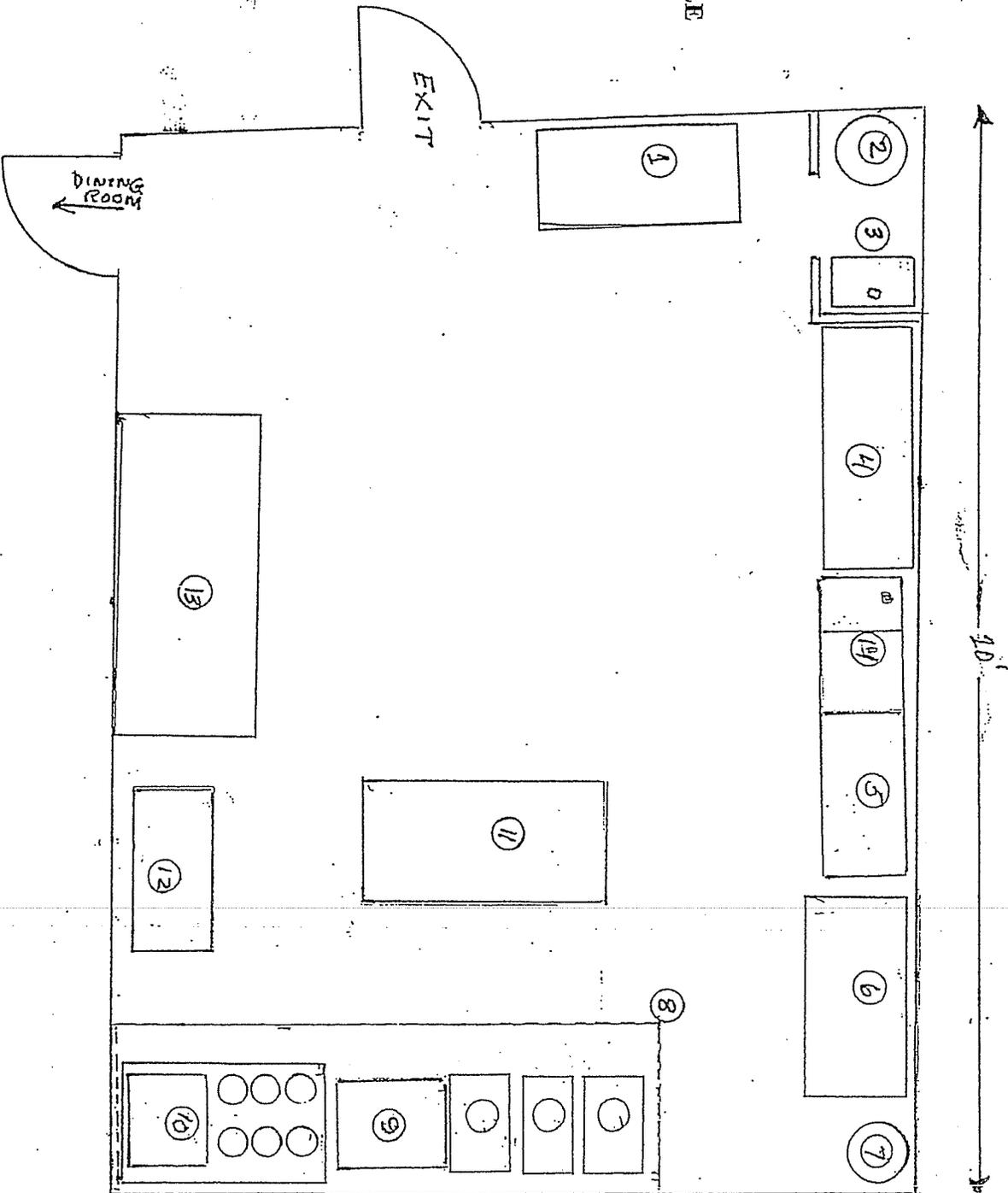
INDEX

1. 30" X 60" 2 - DOOR FREEZER
2. 75 GAL. WATER HEATER
3. SLOP SINK
4. 3-BAY SINK
5. SHELF UNIT
6. 2 - DOOR REFRIGERATOR
7. ANSEL UNIT
8. 48" X 10 FT HOOD
9. 33" X 30" CHAR BROILER
10. 6 BURNER STOVE w GRIDDLE
11. 6' X 30" SANDWICH UNIT
12. 36" STEAM TABLE
13. 42" X 6' WORK TABLE
14. VEGETABLE SINK w DRAIN

SCALE 1/4" = 1 FOOT

Dublin's Restaurant Lounge

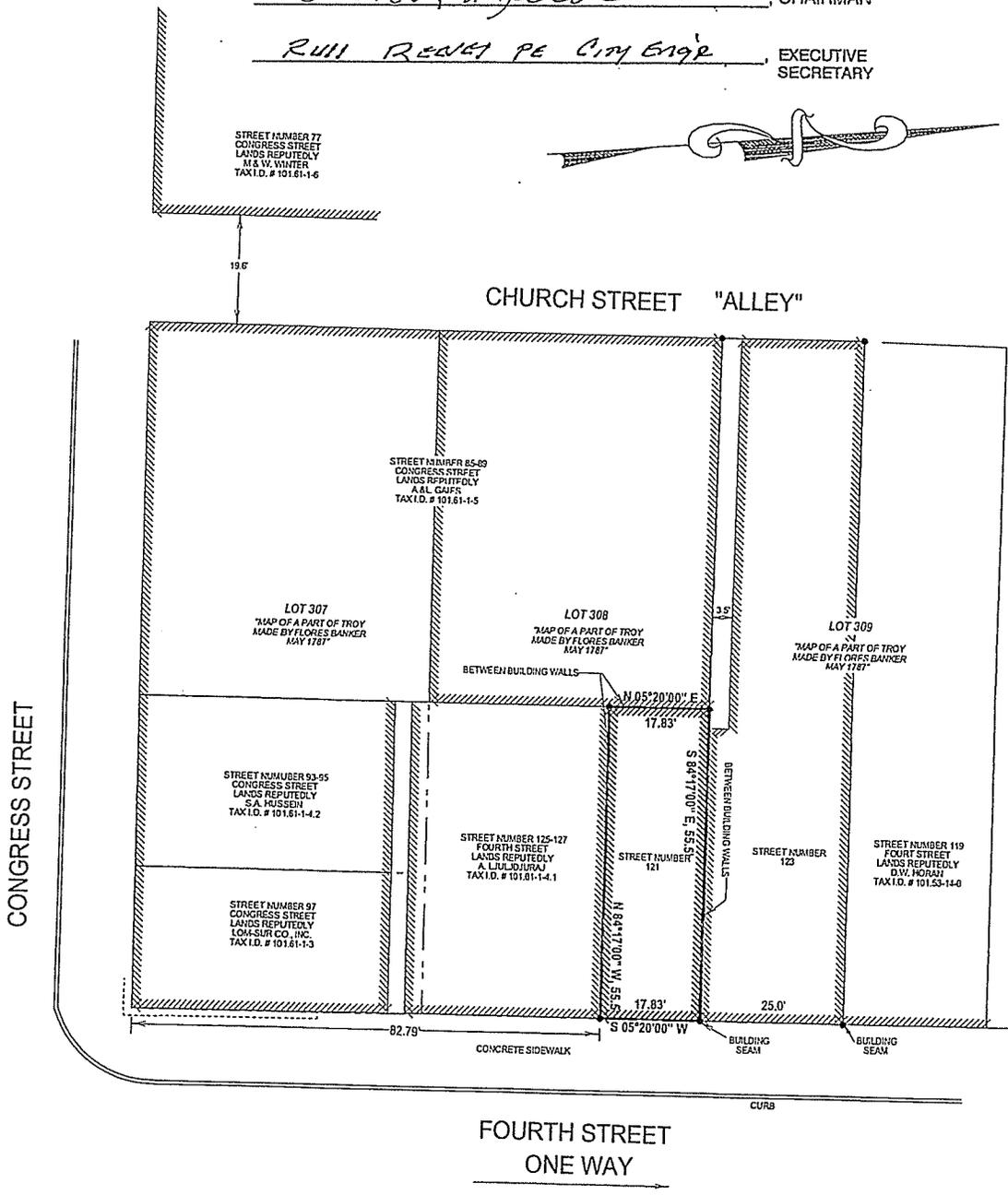
121 - 4TH STREET, TRAY, N.Y. 12180



APPROVED BY THE PLANNING BOARD OF THE CITY OF TROY,
 NEW YORK, BY RESOLUTION DATED 11/10/05
 AND SIGNED ON 4/11/06, ANY CHANGE, ERASURE OR
 OTHER AMENDMENT NOT SPECIFICALLY APPROVED VOIDS THIS
 APPROVAL

John R. Kelise CHAIRMAN

RUII REGET PE City Eng'r EXECUTIVE SECRETARY



"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, subdivision 2, of the New York State Education Law"

Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies
 PLS #47416

TITLE: SURVEY OF A PORTION OF LANDS OF ELDA C. ABATE KNOWN AS STREET NUMBER 121 FOURTH STREET PORTION OF TAX I.D. # 101.61-1-2		Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors said certifications shall run only to the person for whom the survey is originally prepared, and on their behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
TOWN, CITY, VILLAGE OF: TROY	COUNTY OF: RENSSELAER	
STATE OF NEW YORK		
SCALE: 1" = 20'		
DATE: 3/13/06	133 MOHAWK AVENUE SCOTIA, NEW YORK, 12302 (518) 393-0959 (518) 393-0977 FAX	

Staff Report # PC2014-031

Applicant: Vartan Jerian

Project Summary:

PC2014-031 Site Plan Review of a proposal to construct a 10 car employee parking lot at 49 Oakwood Ave, a INST Zone, ID 101.23-4-4. Applicant is Vartan Jerian, 12 Oakwood Ave, Troy, NY 12180.

SEORA : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

Prior Planning Board Action

Prior Zoning Board

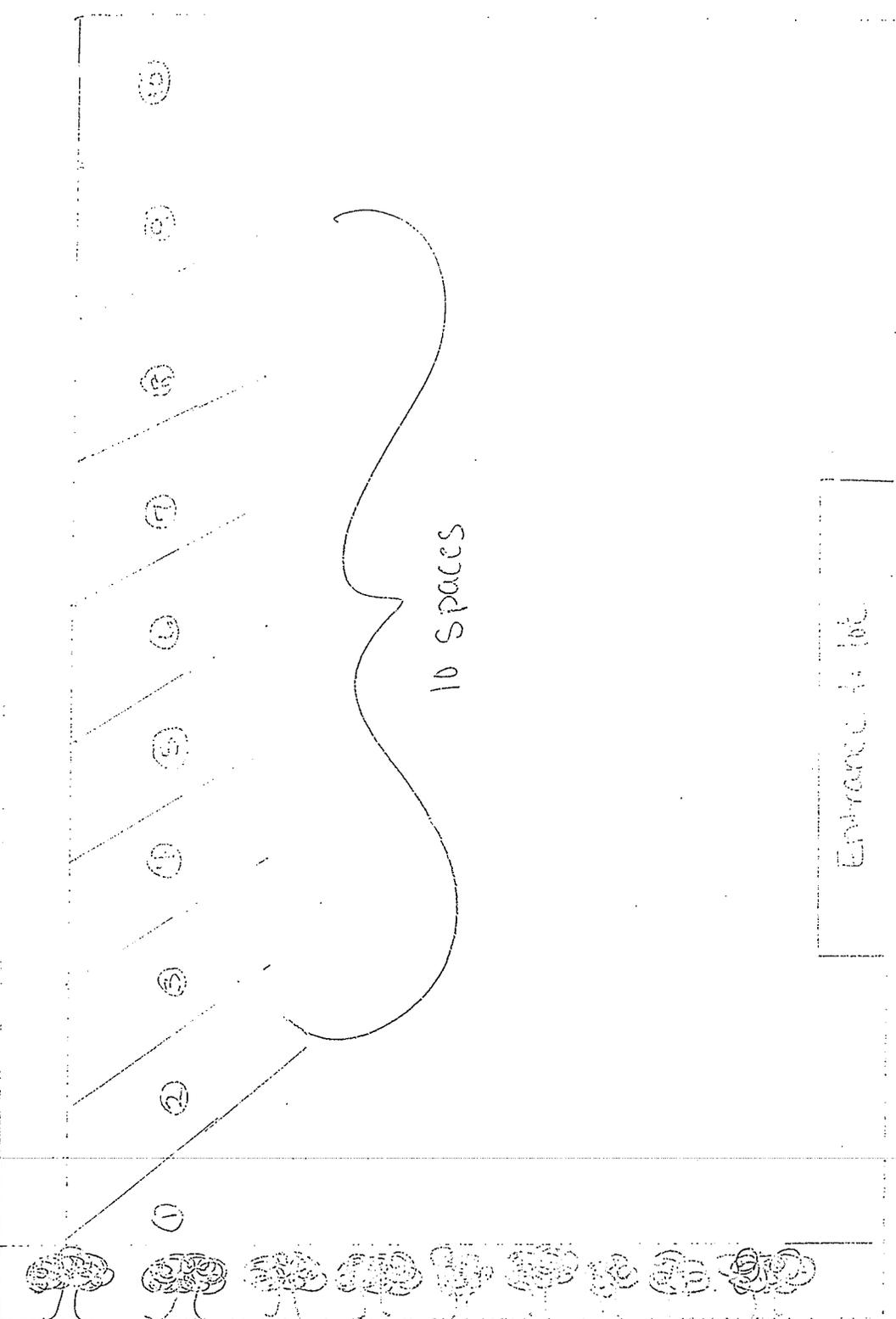
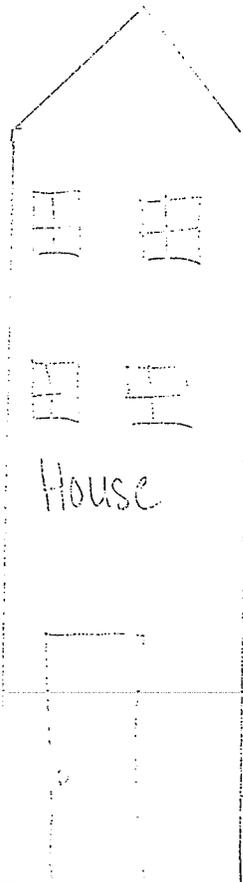
Site Design Review:

Applicant proposes to construct a 10 car parking area for employees as an interim short term use. Curb cut will be on Sausse Ave. Applicant will provide landscaping buffering along Oakwood Ave. Sidewalks to remain.

Stipulations

Parking for employees only
Parking area must be paved

All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.



25 ft.

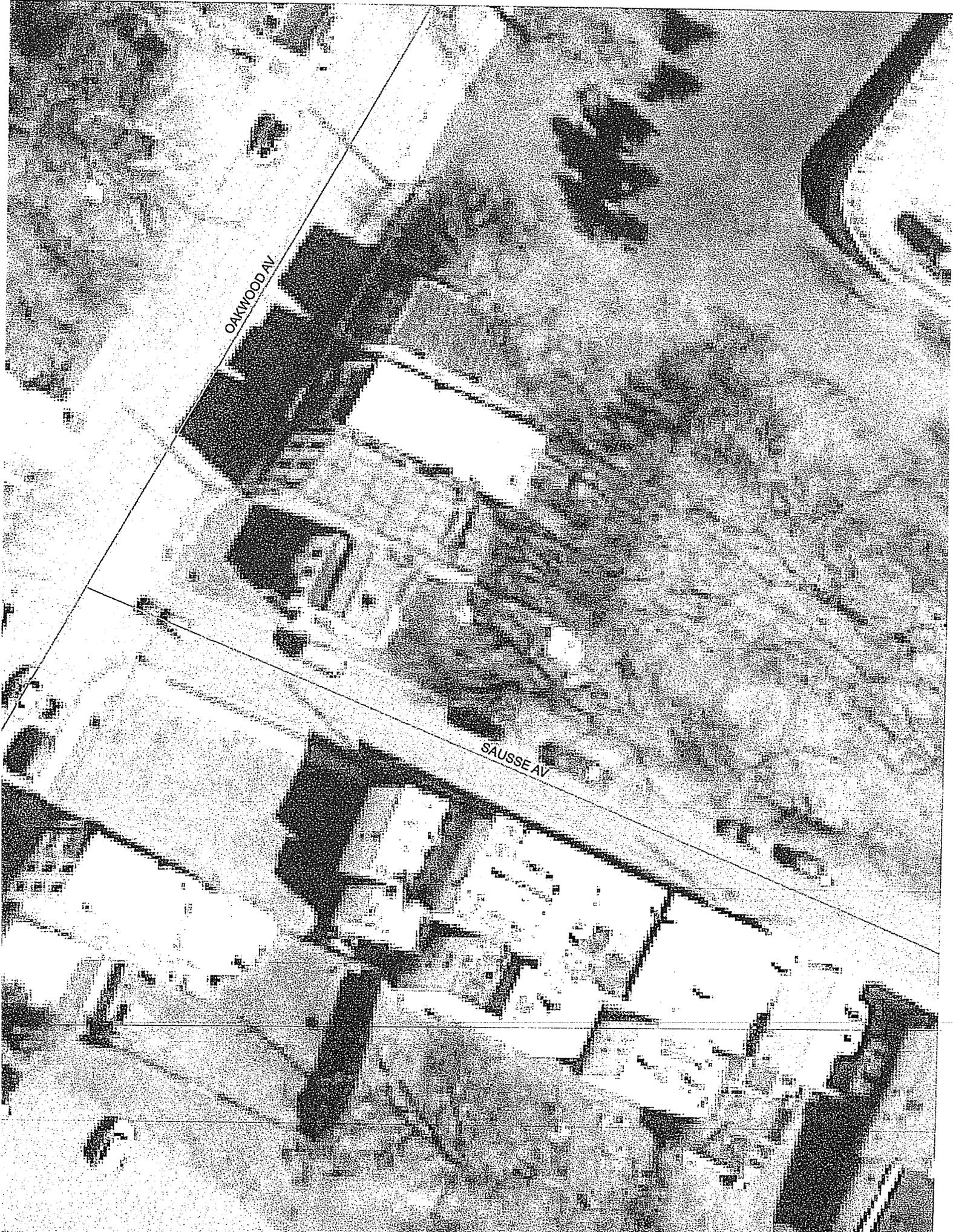
10 spaces

Entrance to lot

105 ft

Sausse Avenue

49 Oakwood Avenue



Applicant: Community Builders

Project Summary:

PC2014-032 Site Plan Review of a proposal to construct 67 apartments in an existing building located at 599 River Street, a HCD Zone, ID 101.22-1-4. Applicant is Dave Sadowsky for Community Builders, 97 Maxon Road, Petersburg NY 12138.

SEORA : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

Prior Planning Board Action

Prior Zoning Board

Parking variance granted August 2014

Site Design Review:

Applicant proposes to renovate a 7 story building for use as 67 apartments. Apartments range in size from 1-3 bedrooms. The applicant will provide 53 off-street parking spaces. A roofed structure to the rear of the property will allow for covered parking and a rooftop garden / terrace overlooking the Hudson River. Access to rooftop terrace will be via pedestrian bridge access from the lobby. Trash to be stored indoors in utility area at basement level and removed via private hauler.

Stipulations

Provision or easement for bike trail

All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.

HAND OUT

HAND COPY

Applicant: Peggy Savchik

Project Summary:

PC2014-033 Site Plan Review of a proposal to demolish an existing structure and reconstruct a new drive thru restaurant. Project location is 220 Hoosick Street, an HCD Zone, ID 101.32-7-1. Applicant is Peggy Savchik, 220 Hoosick Street, Troy, NY 12180.

SEQRA : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

Prior Planning Board Action

Prior Zoning Board

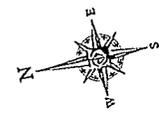
Site Design Review:

Applicant proposes to renovate the exiting Popeye's restaurant and construct an addition to increase the size to 2700 SF restaurant. Building frontage will be moved 4 feet closer to Hoosick Street conforming to the HCD Zone requirements. The drive thru location and direction will be in the same location. Moving utilities to the rear of the structure allows for increased maneuverability and turning radii within the site and drive thru. The building will have a second usable floor per the HCD zone requirements and used as office space. Applicant proposes rooftop solar panels.

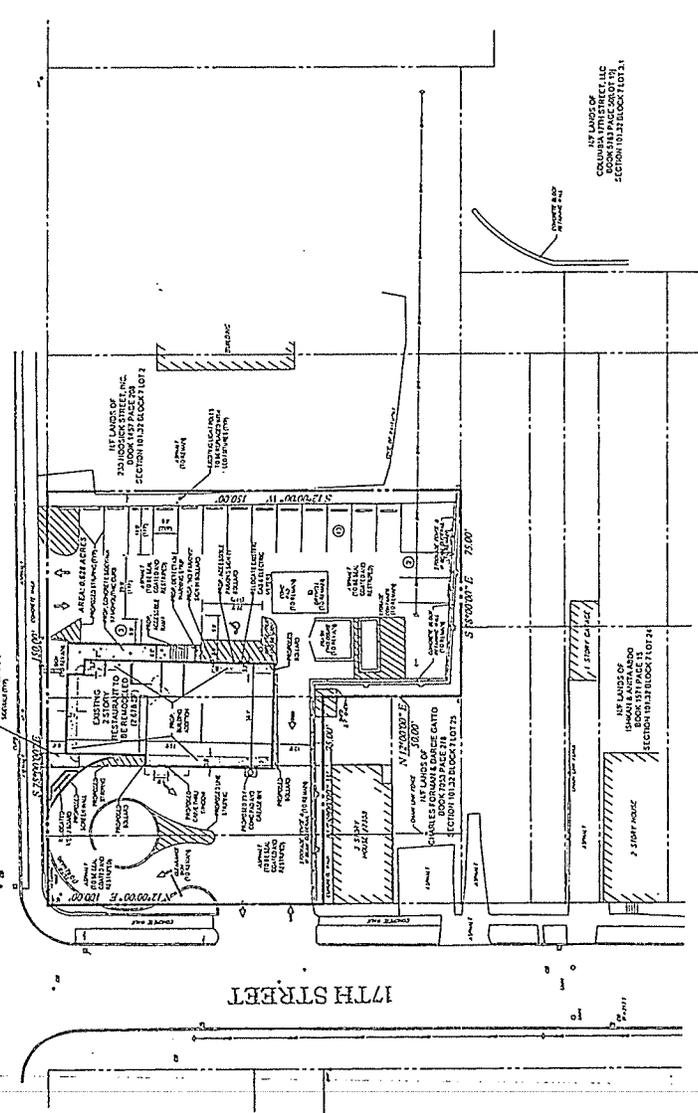
Stipulations

Provide signage plan and landscape plan for final approval.

All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.



NEW YORK STATE ROUTE 7 HOOSICK STREET



CONCEPT LAYOUT PLAN NOTES

1. THE PLANNING AND DESIGN SERVICES WILL BE PROVIDED BY BOHLER ENGINEERING, INC. (BOHLER) AND WILL BE SUBJECT TO THE APPROVAL OF THE CITY OF NEW YORK.
2. THE PLANNING AND DESIGN SERVICES WILL BE PROVIDED BY BOHLER ENGINEERING, INC. (BOHLER) AND WILL BE SUBJECT TO THE APPROVAL OF THE CITY OF NEW YORK.
3. THE PLANNING AND DESIGN SERVICES WILL BE PROVIDED BY BOHLER ENGINEERING, INC. (BOHLER) AND WILL BE SUBJECT TO THE APPROVAL OF THE CITY OF NEW YORK.



BOHLER ENGINEERING
 CIVIL & ENVIRONMENTAL ENGINEERING
 100 WEST 11TH STREET
 NEW YORK, NY 10011
 TEL: 212-251-1111
 FAX: 212-251-1112
 WWW.BOHLENERG.COM

NO.	DATE	DESCRIPTION	BY
1	01/15/11	CONCEPT LAYOUT PLAN	W.D.G.
2	01/15/11	CONCEPT LAYOUT PLAN	W.D.G.
3	01/15/11	CONCEPT LAYOUT PLAN	W.D.G.
4	01/15/11	CONCEPT LAYOUT PLAN	W.D.G.
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19	01/15/11	CONCEPT LAYOUT PLAN	W.D.G.
20	01/15/11	CONCEPT LAYOUT PLAN	W.D.G.

PRELIMINARY

CONCEPT PLAN FOR SPRING LINE DESIGN

LOCATION OF SITE:
 100 WEST 11TH STREET
 CITY OF NEW YORK
 STATE OF NEW YORK

BOHLER ENGINEERING
 100 WEST 11TH STREET
 NEW YORK, NY 10011
 TEL: 212-251-1111
 FAX: 212-251-1112
 WWW.BOHLENERG.COM

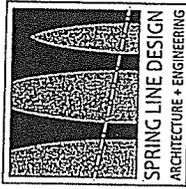
W.D. GOEBEL
 PROFESSIONAL ENGINEER
 LICENSE NO. 11111
 EXPIRES 12/31/11

CONCEPT PLAN

118
 Know What's Below.
 Call before you dig.

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73 troy road
 suite 2h
 east greenbush
 n y 12061

518.487.4755 telephone
 518.670.0122 facsimile
 springlinedesign.com

PROJECT NAME
 POPEYE'S
 220 HOOSICK STREET
 TROY, NY

DRAWING TITLE
 EXISTING
 SITE PLAN

DRAWING DATE
 2014-08-25

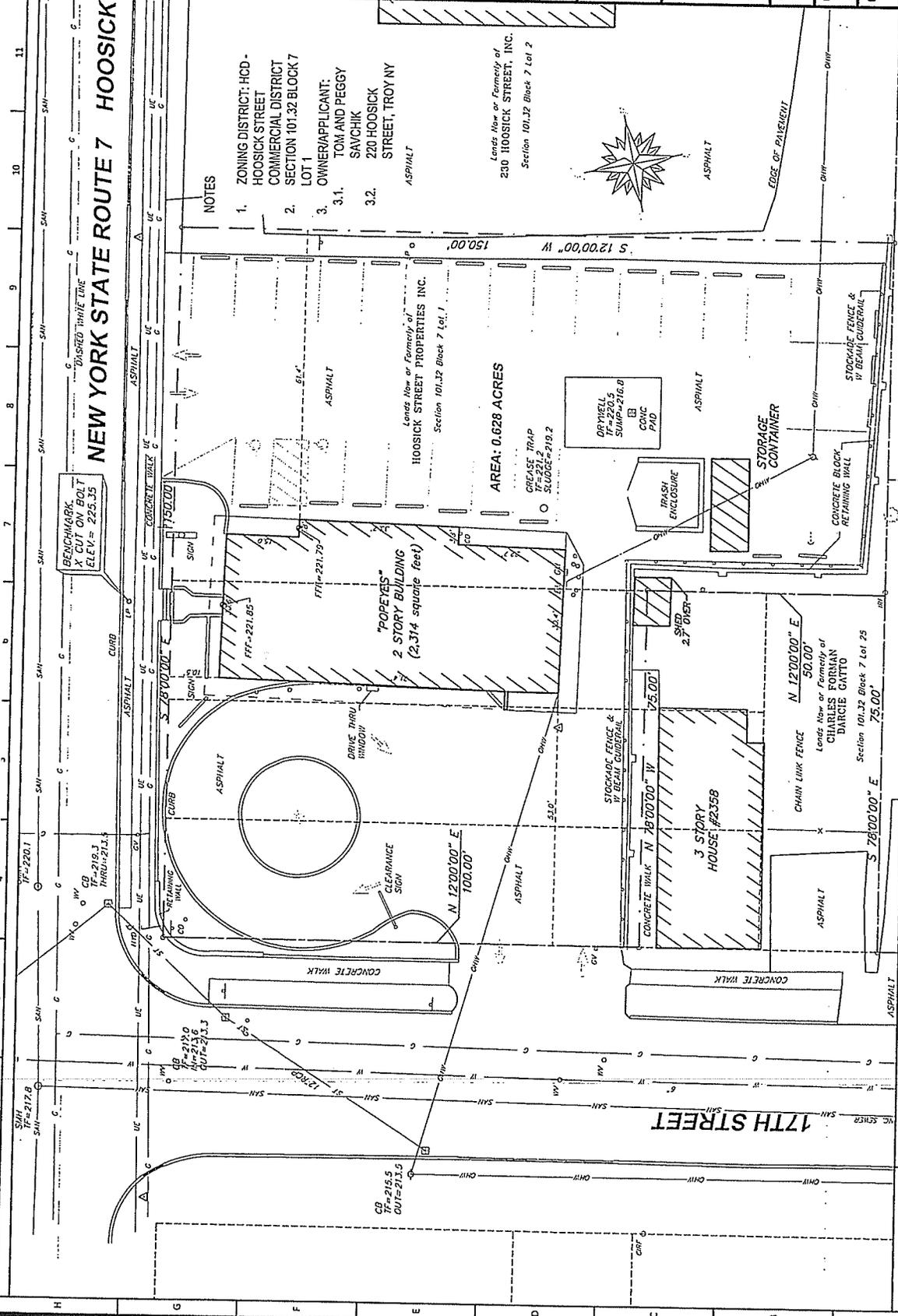
DRAWING SCALE
 AS NOTED

PROJECT NUMBER
 00013012

DRAWN BY
 DW

REVISION

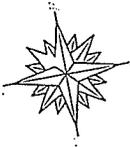
DRAWING NUMBER
C100



NOTES

- ZONING DISTRICT: HCD - HOOSICK STREET COMMERCIAL DISTRICT SECTION 101.32 BLOCK 7 LOT 1
- OWNER/APPLICANT: TOM AND PEGGY SAVCHIK 220 HOOSICK STREET, TROY NY

AREA: 0.628 ACRES



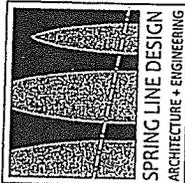
A1 EXISTING SITE PLAN

SCALE: 1"=20'-0"

REF:

1

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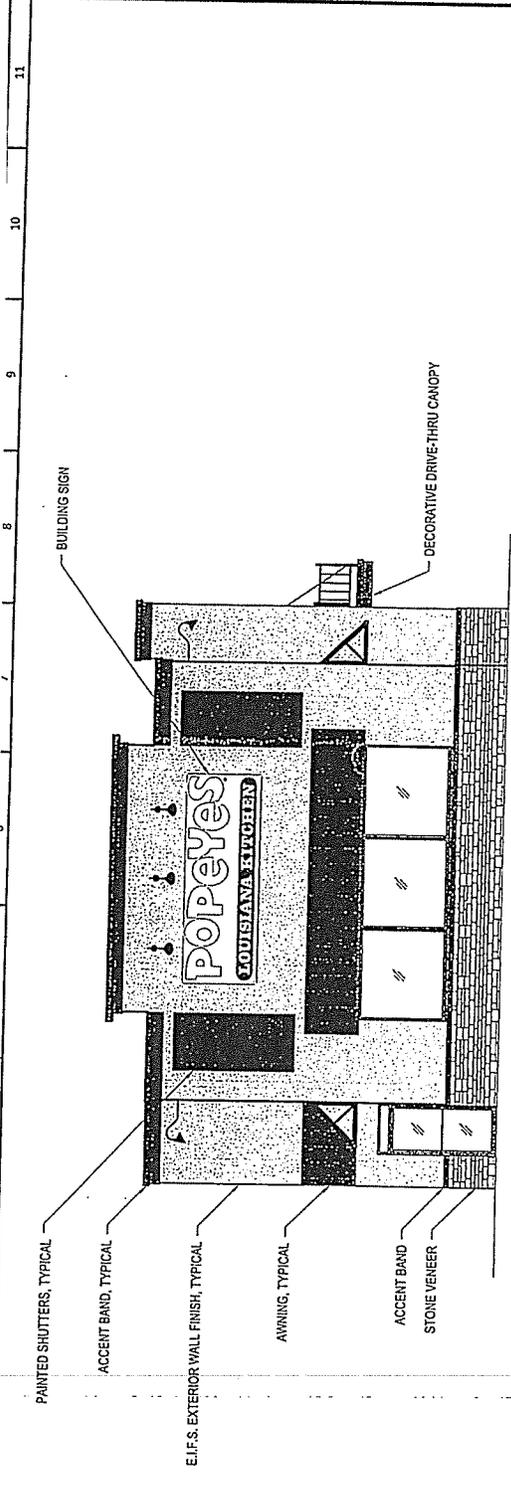
PROJECT NAME
 POPEYE'S
 220 HOOSICK STREET
 TROY, NY

DRAWING TITLE
 PROPOSED
 NORTH AND SOUTH
 ELEVATIONS

DRAWING DATE	DRAWING SCALE
2014-08-25	AS NOTED
PROJECT NUMBER	DRAWN BY
00013012	DW

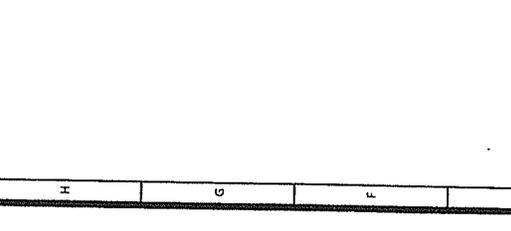
REVISION

DRAWING NUMBER
A201



E1 NORTH ELEVATION
 SCALE: 1/8"=1'-0"

REF:



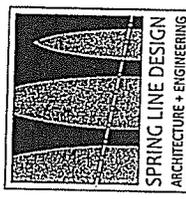
A1 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

REF:



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PROJECT NAME
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 TROY, NY

DRAWING TITLE
 PROPOSED
 EAST AND WEST
 ELEVATIONS

DRAWING DATE
 2014-08-25

DRAWING SCALE
 AS NOTED

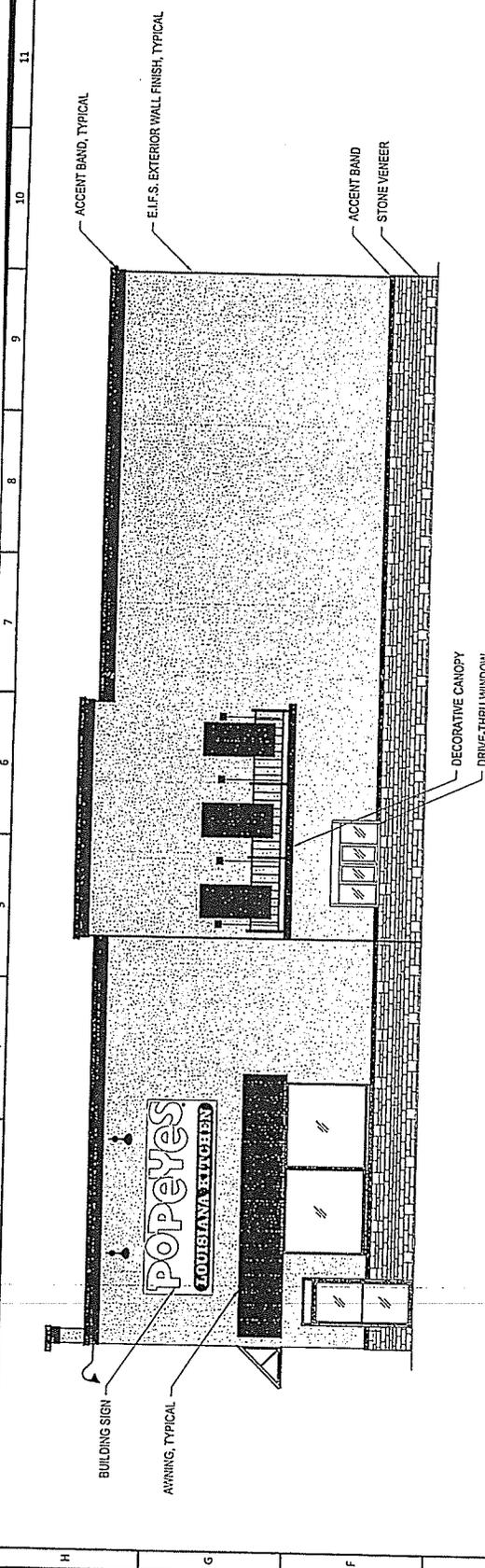
PROJECT NUMBER
 00013012

DRAWN BY
 KK/DW

REVISION

DRAWING NUMBER

A202



E1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

REF:



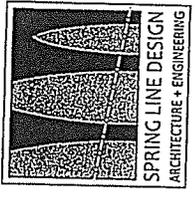
A1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

REF:

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PROJECT NAME
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PHOTOS

DRAWING DATE
2014-08-25

DRAWING SCALE
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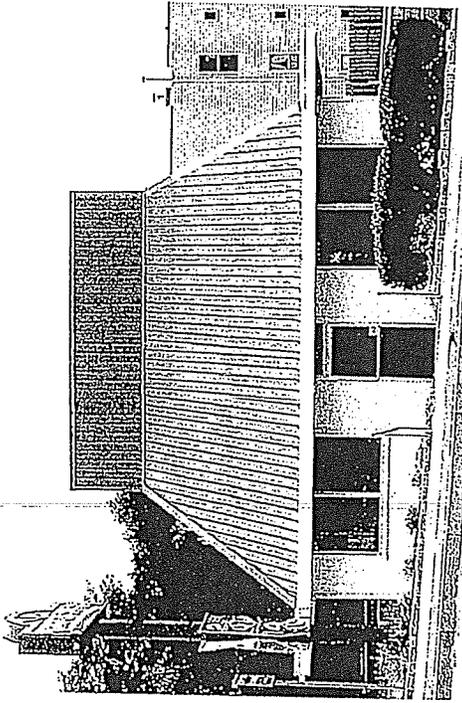
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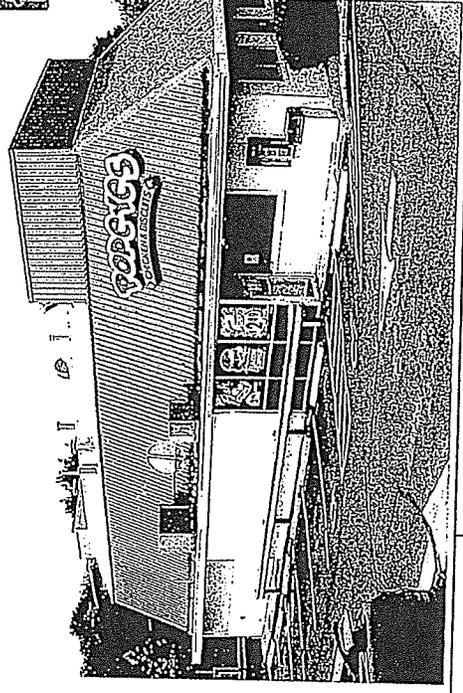
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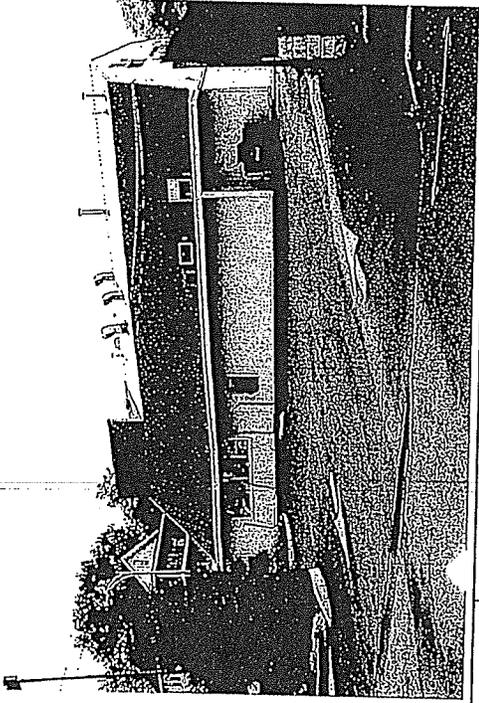
E1 NORTH ELEVATION

REF: NOT TO SCALE



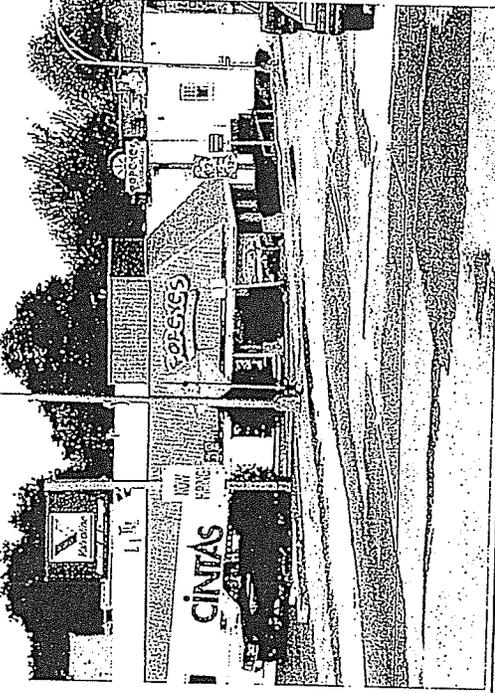
E7 EAST ELEVATION

REF: NOT TO SCALE



A1 WEST ELEVATION

REF: NOT TO SCALE



A7 EAST ELEVATION

REF: NOT TO SCALE