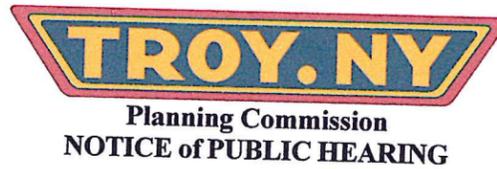


**Barbara Nelson**  
**Chair**  
Phone (518) 279-7168  
Fax (518) 270-4642



**William Dunne**  
**Commissioner**  
Phone (518) 279-7166  
Fax (518) 270-4642

Notice is hereby given that the Planning Commission of the City of Troy, New York will conduct a public hearing on **Thursday November 13, 2014 at 6:00 P.M.** in the Planning Department Hearing Room, 5<sup>th</sup> Floor, The Hedley Building, in order to hear and decide on proposals for development as follows:

Old Business Agenda

**PC2013-036** Subdivision review of a proposal to construct a single home. Project location is 720 6<sup>th</sup> Ave, an R-2 Zone, ID80.41-7-2. Applicant is Justin Haas, 18 Peachtree Lane, Colonie NY 12205 **removed no new information provided**

**PC2014-032** Site Plan Review of a proposal to construct 67 apartments in an existing building located at 599 River Street, a HCD Zone, ID 101.22-1-4. Applicant is Dave Sadowsky for Community Builders, 97 Maxon Road, Petersburg NY 12138. **removed no new information provided**

New Business Agenda

**PC2014-035** Site Plan Review of a proposal to renovate the upper floors of an existing mixed use building to create residential units. Project location is 33 Second Street, a B-4 Zone, ID 101.53-7-9. Applicant is 3T Architects for Bonacio Construction, 283 River Street, Troy, NY 12180.

**PC2014-036** Site Plan Review of a proposal to renovate and de-densify the Martin Luther King Apartments. Project location is Eddys Lane, an R-2 Zone, ID90.55-7-1. Applicant is Omni Development, 40 Beaver Street, Albany, NY 12207.

Conceptual Review

**Stewarts Shop Expansion** Project location is 100 Northern Drive, a B-1 Zone, ID 80-3-4. Applicant is Stewarts Shops, PO Box 435 Saratoga Springs NY 12866.

Certificate of Appropriateness

70-76 Congress Street – Façade Renovation

184 River Street - Facade

Uncle Sam Health Food Store

Should any unforeseen events occur, any of the proposals noted herein may not be reviewed at said hearing. Any proposals previously tabled by the Commission may be reviewed at this hearing without benefit of public notice. Any other proposals reviewed by the Commission at this hearing will receive publication in this newspaper at least five days prior to the hearing date.

Auxiliary aids and services are available for individuals or groups with disabilities. Please provide one-week advance notice for such service. For information contact the Troy Planning Department at 279-7168. Any person having interest in the above matters will be heard at said time and place.

Planning Commission of the City of Troy, New York  
Andrew Petersen, Executive Secretary

**Staff Report # PC2014-035**

**Applicant:** Bonacio Construction

**Project Summary:**

PC2014-035 Site Plan Review of a proposal to renovate the upper floors of an existing mixed use building to create residential units. Project location is 33 Second Street, a B-4 Zone, ID 101.53-7-9. Applicant is 3T Architects for Bonacio Construction, 283 River Street, Troy, NY 12180.

**SEORA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board**

**Site Design Review:**

Applicant proposes to renovate a mixed use building into residential units totaling 13 on the 2<sup>nd</sup> – 4<sup>th</sup> floors and retain basement level and first floor level retail / restaurant uses. There is no exterior work proposed. Apartments to be 1 and 2 bedroom units.

**Stipulations**

*All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.*

# RENOVATIONS TO 33 SECOND STREET

33 SECOND STREET | TROY | NEW YORK | 12180

CONSTRUCTION DRAWINGS: 11/3/14



SEAL

REVISED LAYOUT  
FOR REVIEW

PROJECT TITLE

RENOVATIONS TO 33  
2ND STREET

33 2ND STREET TROY, NY

SHEET TITLE

Cover

CONSULTANT

DRAWN BY  
SN

CHECKED BY  
ST

DATE  
10/29/2014

PROJECT NO.  
14-044

REVISIONS

NO.	DESCRIPTION	DATE

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3tarchitects.com  
283 RIVER STREET • TROY, NY • 12180  
PH 518 618 0900 FX 518 618 0901

SHEET NO.

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### PROJECT TEAM

**OWNER**

BONACIO CONSTRUCTION  
8 DIVISION STREET  
SUITE 401  
SARATOGA SPRINGS, NY 12866  
PHONE: 518.584.9007  
CONTACT: JIM CHANDLER, PROJECT MANAGER

**ARCHITECT**

3tarchitects  
283 RIVER STREET  
TROY, NY 12180  
PHONE: 518.618.0900  
CONTACTS:  
SCOTT TOWNSEND, PRINCIPAL IN CHARGE  
SHASHI NOCERA, PROJECT MANAGER

### GENERAL PROJECT NOTES

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, CODE AMENDMENTS, STANDARDS, ORDINANCES AND RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO LOCAL ZONING ORDINANCES, BUILDING CODE OF NEW YORK STATE, FIRE CODE OF NEW YORK STATE, THE PLUMBING CODES AND THE NATIONAL ELECTRICAL CODE, THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
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- CONTRACTOR SHALL PERFORM FINAL CLEANING OF INTERIOR SURFACES, EQUIPMENT, AND FIXTURES AT THE END OF CONSTRUCTION.

### COMMON ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	MDF	MEDIUM DENSITY FIBERBOARD
ACT	ACOUSTIC CEILING TILE	MDO	MEDIUM DENSITY OVERLAY
AHU	AIR HANDLING UNIT	MIN	MINIMUM
APPROX	APPROXIMATELY	NA (N/A)	NOT APPLICABLE
BCNYS	BUILDING CODE OF NEW YORK STATE	NIC	NOT IN CONTRACT
BY	BOTTOM OF	NTS	NOT TO SCALE
OP	OPPOSITE	OC	ON CENTER
CP	CAST IN PLACE	OPP	OPPOSITE
CLNG	CEILING	OSB	ORIENTED STRAND BOARD
CLR	CLEAR	PFT	PORCELAIN FLOOR TILE
CF	CERAMIC FLOOR TILE	PT	PAINT
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PWT	PORCELAIN WALL TILE
CJ	CONTROL JOINT	RCP	REFLECTED CEILING PLAN
CMT	CERAMIC WALL TILE	REQD	REQUIRED
DIA	DIAMETER	RO	ROUGH OPENING
ELEV	ELEVATION	RTU	ROOF TOP UNIT
EJ	EXPANSION JOINT	SIM	SIMILAR
EJFS	EXTERIOR INSULATION AND FINISH SYSTEM	SCW	SOLID CORE WOOD
EQ	EQUAL	SCHD	SCHEDULE
FT	FEET	SF	SQUARE FEET
FRP	FIBERGLASS REINFORCED PLASTIC	SPEC	SPECIFICATION
FL	FLOOR	SQ	SQUARE
FD	FLOOR DRAIN	SS	STAINLESS STEEL
FDN	FOUNDATION	STL	STEEL
GC	GENERAL CONTRACTOR	STN	STAIN
GWB	GYPSONUM WALL BOARD	T&G	TONGUE AND GROOVE
HC (H/C)	HANDICAPPED ACCESSIBLE	T/O	TOP OF
HOW	HOLLOW CORE WOOD	TYP	TYPICAL
HVAC	HEATING VENTILATION/AIR CONDITIONING	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	VWB	VINYL WALL BASE
HOR	HORIZONTAL	VERT	VERTICAL
LAV	LAVATORY	VIF	VERIFY IN FIELD
MFR	MANUFACTURE/MANUFACTURER	VPF	VINYL PLANK FLOORING
MO	MASONRY OPENING	VSF	VINYL SHEET FLOORING
MAX	MAXIMUM	WD	WOOD

### DRAWING INDEX

NUMBER	SHEET NAME	Revision
A1.2	FOURTH FLOOR PLANS	
T0.0	Cover	
GENERAL REFERENCE		
G1.0	General Information and Construction Systems	
STRUCTURAL		
S1.0	Structural Drawings	
ARCHITECTURAL		
A1.0	SECOND FLOOR PLANS	
A1.1	THIRD FLOOR PLANS	
A4.0	Enlarged Kitchen Plans and Interior Elevations	
A4.1	Enlarged Bathroom Plans and Interior Elevations	
A5.0	Doors and Windows	
REFERENCE DRAWINGS		
R1.1	Building and Wall Sections	

### SITE LOCATION

### AREA(S) / CLASSIFICATION OF WORK

4 HATCHED REGIONS INDICATE AREAS OF WORK CONTAINED WITHIN THE SCOPE OF THIS PROJECT. AREAS OF WORK ARE TYPICAL ON THE 2ND, 3RD AND 4TH FLOORS OF THE BUILDING.

3 THE CLASSIFICATION OF WORK WITHIN THE HATCHED REGIONS AS DEFINED BY THE EXISTING BUILDING CODE OF NYS ARE ALTERATION LEVEL 3, CHANGE OF OCCUPANCY (B TO R2), AND ARE SUBJECT TO HISTORIC BUILDING CONSIDERATION.

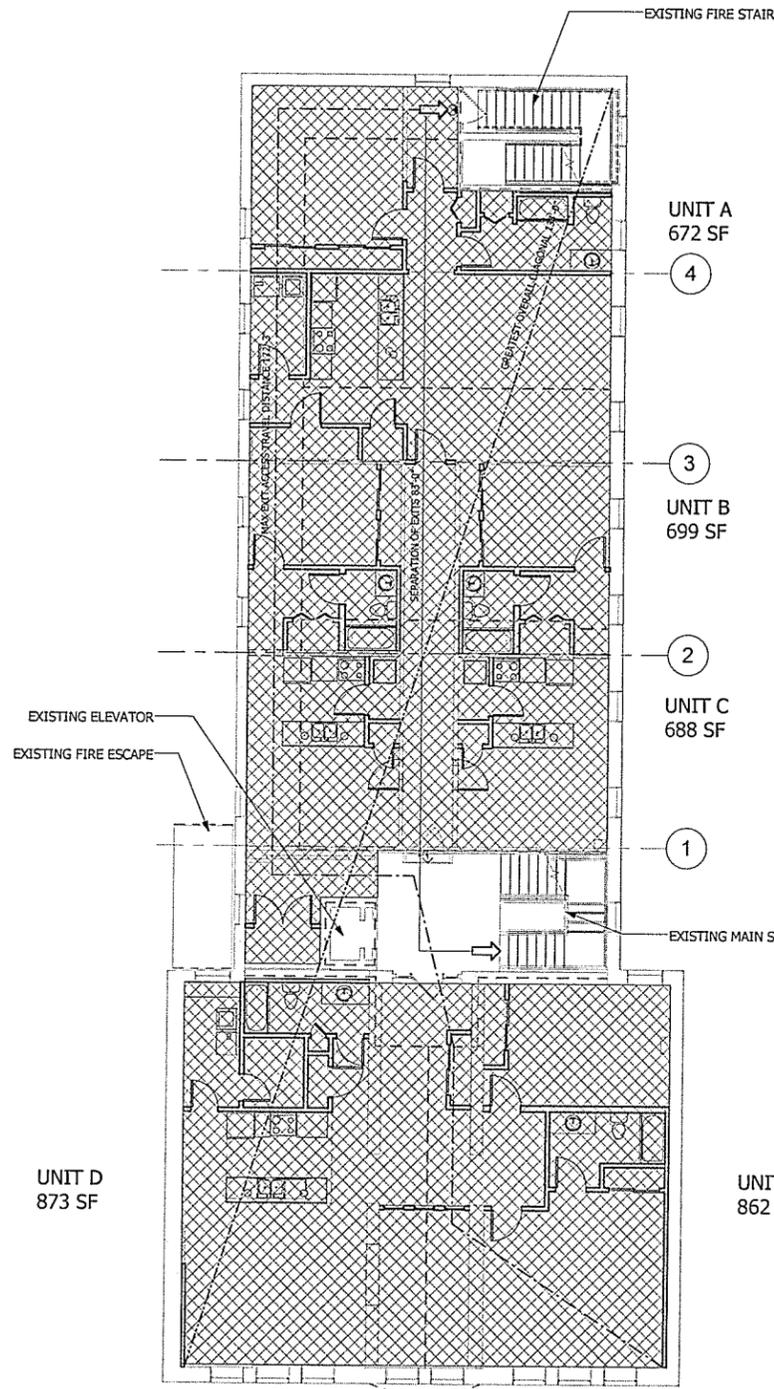
2 WORK WITHIN THE UNHATCHED REGIONS IS LIMITED TO REPAIRS, AS DEFINED BY THE EXISTING BUILDING CODE OF NYS.

1 NO WORK ON THE BASEMENT AND 1ST FLOOR LEVELS IS CONTAINED IN THE SCOPE OF THIS PROJECT.

REFER TO SHEET G1.0 FOR THE PROJECT CODE REVIEW SUMMARY AND LIFE SAFETY PLAN.

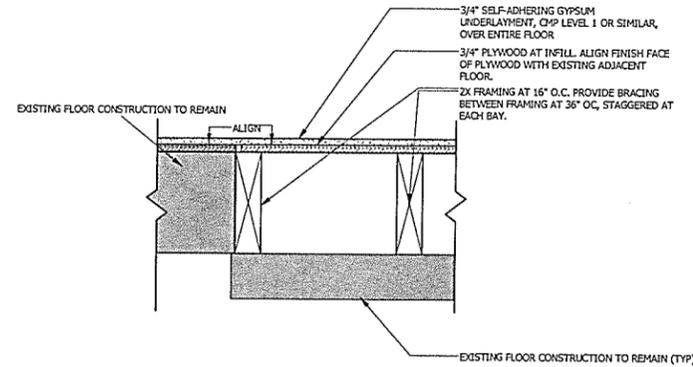
### COMMON NOTATION SYMBOLS

ROOM NAME 101	ROOM NAME ROOM NUMBER	0	COLUMN LINE
101	DOOR NUMBER TAG	Ref 1 A101 1 Ref	ELEVATION REFERENCE
11	WINDOW TAG	+	NORTH ARROW
11	WALL TYPE TAG	1 A101	CALLOUT REFERENCE
7'-2" A.F.F.	ELEVATION REFERENCE	1 A101	WALL SECTION REFERENCE
10:12	ROOF SLOPE REFERENCE	1 A101	DETAIL SECTION REFERENCE



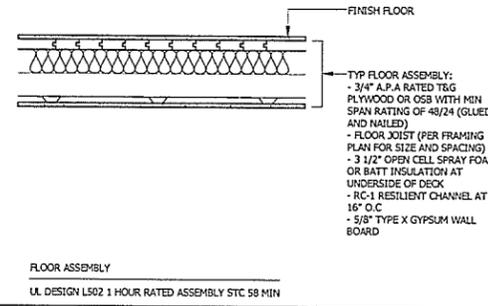
1. CODE COMPLIANCE PLAN - TYPICAL FLOOR  
1/8" = 1'-0"

CODE SUMMARY	
<b>EXISTING BUILDING CODE OF NYS (EBCNYS)</b>	
Classification of Work	Chapter 5: Repairs
Area(s) of Work for Classification	Limited to central stair
Classification of Work	Chapter 8: Alteration Level 3
Area(s) of Work for Classification	Hatched regions on plan; Typical at floors 2 - 4
9405.2 Applicable Chapters	Chapters 6, 7 and 8
<b>Chapter 6: Alterations Level 1</b>	
5603 Fire Protection	Maintain current level of protection
5604 Means of Egress	Maintain current level of protection
5605 Accessibility	Technically Infeasible - No accessible levels or entries
5606 Structural	Where additional roofing equipment is provided and dead load is increased by > 5%, structural reinforcing is required
5607 Energy Conservation (S101 ECHYS)	Historic buildings are exempt from compliance
<b>Chapter 7: Alteration Level 2</b>	
5702.1 Compliance	Alterations must comply with BCNYS
5702.1 Compliance Exceptions	Windows, new electrical, dead-end corridors and ceiling height to comply with EBCNYS Chapter 7
5703.2.1 Existing Vertical Openings	1 hr rating required unless exempt per BCNYS
5703.2.2 Supplemental Shaft Enclosure Req'ts	Elevator exempt per exception
5703.2.3 Supplemental Stairway Enclosure Req'ts	Minimum of smoke-tight construction
5703.4 Interior Finishes	Comply with BCNYS or provide fire retardant coating at existing non-compliant to remain
5704.2 Automatic Sprinkler System	Required, provided sufficient municipal supply
5704.2.5 Supervision	Required - Central Station, Remote Station, or Local Audible Alarm acceptable
5704.4 Fire Alarm and Detection	Required throughout each floor within Area of Work
Alarm System	Required (smoke detectors)
Heat Detection	Not Required (with sprinklers)
Supplemental	Smoke detectors within residential units
5705.3 Means of Egress - Number of Exits	No
Single Exit Eligible	Acceptable as second means of egress; must comply with 705.3.1.2 for access, protection and construction
Fire Escapes	New openings must be fire rated and self closing; Existing doors must be smoke proof/sealed
5705.5 Openings in Corridor Walls	New openings must be fire rated and self closing; Existing doors must be smoke proof/sealed
5705.6 Dead End Corridors	New or modified shall be 50' or less in length; Existing unmodified shall be 20' or less in length
5705.9 Handrails	One req'd at each stair with more than three risers and less than 66" in width; Two req'd at each stair with more than three risers and less than 66" in width
5706.3 Dwelling Units	Must comply with S1107 of BCNYS
5707 Structural	Structural reinforcing for new, greater loads is required
5711 Energy Conservation (S101 ECHYS)	Historic buildings are exempt from compliance
<b>Chapter 8: Alteration Level 3</b>	
5803.1 Existing Shafts and Vertical Openings	Must comply with 5703.2.1 to level of discharge
5803.3 Interior Finishes	Must comply with 5703.4 to level of discharge
5804.1 Automatic Sprinkler System	Must comply with 5704.2 to level of discharge
5804.2 Fire Alarm and Detection	Must comply with 5704.4.1 & 5704.4.3; Manual Alarm as allowed by BCNYS
5805.1 Means of Egress	Must comply with 5705
5806.1 Accessibility	Must comply with 5605
5807 Structural	Structural reinforcing for new, greater loads is required; New structural work shall comply with BCNYS
5808 Energy Conservation (S101 ECHYS)	Historic buildings are exempt from compliance
<b>Chapter 9: Change of Occupancy</b>	
9912.1.1 Compliance with Chapter 8	Hatched regions on plan; Typical at floors 2 - 4
9912.4 Means of Egress Hazard Categories	Throughout Areas of Work - WITH SEPARATION
9912.4.1 Means of Egress for Higher Hazard	Increase from 4 (B) to 3 (R2)
9912.5 Heights and Areas Hazard Categories	Comply with Chapter 10 of BCNYS
9912.5.3 Fire Barriers in Mixed Use Building	Increase from 4 (B) to 2 (R2)
9912.6 Exterior Wall Exposure Hazard Categories	No Change - Level 3 (B to R2)
9912.6.2 Exterior Ratings for Equal/Lesser Hazard	Existing wall ratings and openings shall be accepted
9912.7.2 Stairways	Must comply with BCNYS
9912.7.3 Other Vertical Shafts	Must comply with BCNYS
Exception: Existing 1 hr shaft enclosures	Shall be accepted where a higher ratings is required
Exception: Vertical Openings other than stairways	Need not be enclosed when building is fully sprinklered
9912.8 Accessibility	Per exception, accessibility requirements do not apply
<b>Chapter 11: Historic Building</b>	
51105.1 Change of Occupancy	Must comply with Chapter 9
51105.2 Building Area	May exceed allowable floor area by up to 20%
51105.4 Occupancy Separation	Required 1 hr occupancy separation may be omitted when building is fully sprinklered
51105.10 1 Hr Fire Resistant Assemblies	1 hr fire resistant assemblies need not be provided when existing wall is plaster and lath over wood or metal
51105.11 Stairs and Railings	Code enforcement official may grant alternative compliance should existing be found to meet intent of provisions
51105.14 Natural Light	Natural light requirements may be exempt should providing natural light may impact historic nature
51105.15 Accessibility	Technically Infeasible - No accessible levels or entries

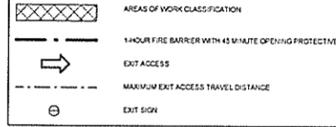


2. FLOOR INFILL DETAIL  
1/2" = 1'-0"

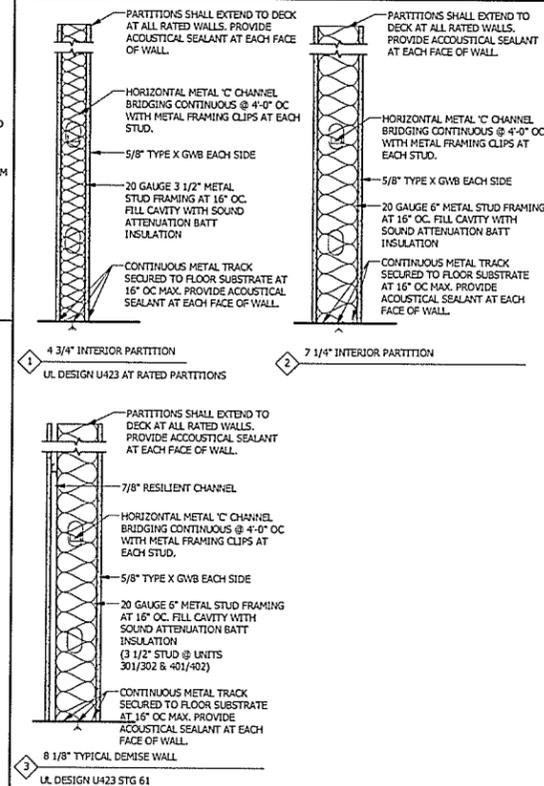
**HORIZONTAL ASSEMBLIES**



**CODE PLAN LEGEND**



**WALL TYPES**



**WALL NOTES**

- ALL NEW GWS SHALL BE TYPE "X". ALL WALLS IN WET AREAS TO RECEIVE MOLD AND MOISTURE RESISTANT TYPE "X" GWS ON WET AREA SIDE, REGARDLESS OF THE WALL TYPE DESIGNATION.
- SMIT SOUND ATTENUATION BATT INSULATION AT ALL WALL CAVITIES CONTAINING PLUMBING, REGARDLESS OF WALL TYPE DESIGNATION.
- INTERIOR NON-RATED WALLS MAY TERMINATE ABOVE CEILING AT CONTRACTOR'S DISCRETION.
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SEAL

**REVISED LAYOUT FOR REVIEW**

PROJECT TITLE

**RENOVATIONS TO 33 2ND STREET**

33 2ND STREET TROY, NY

SHEET TITLE

**General Information and Construction Systems**

CONSULTANT

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DATE: 10/29/2014

PROJECT NO.: 14-044

REVISIONS

NO. DESCRIPTION DATE

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**3t** architects.com

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PROJECT TITLE

RENOVATIONS TO 33 2ND STREET

33 2ND STREET TROY, NY

SHEET TITLE

SECOND FLOOR PLANS

CONSULTANT

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DATE 10/29/2014

PROJECT NO. 14-044

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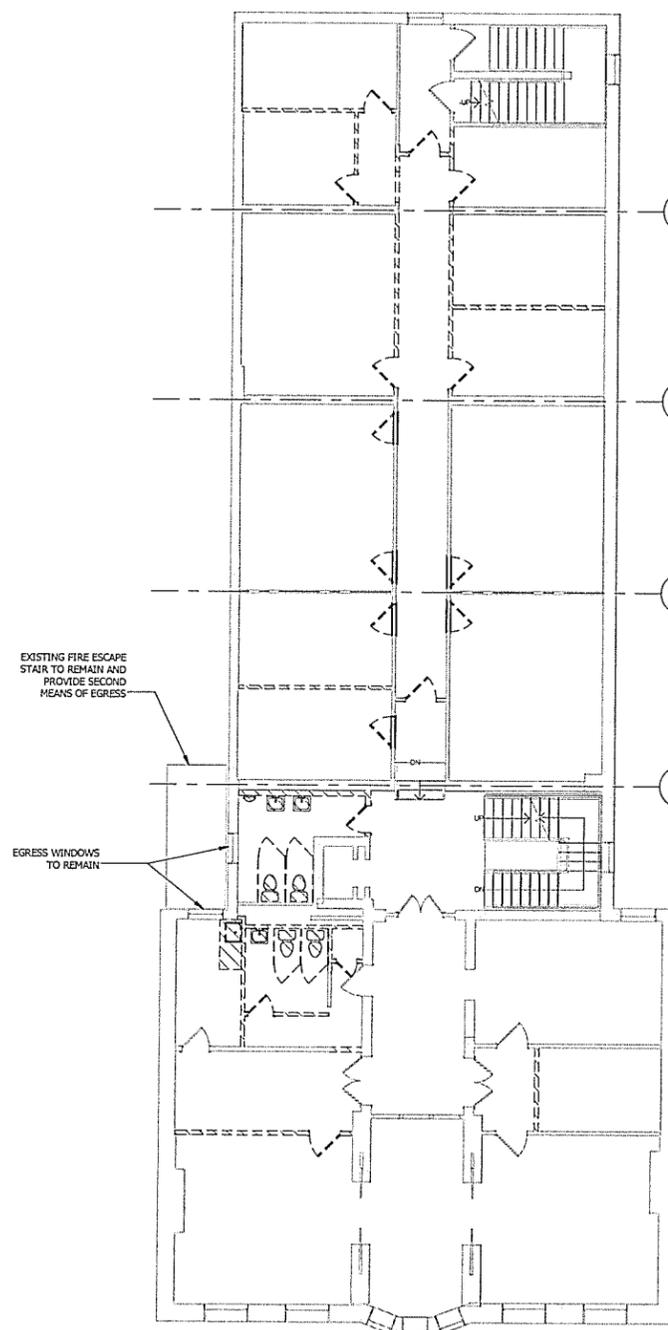
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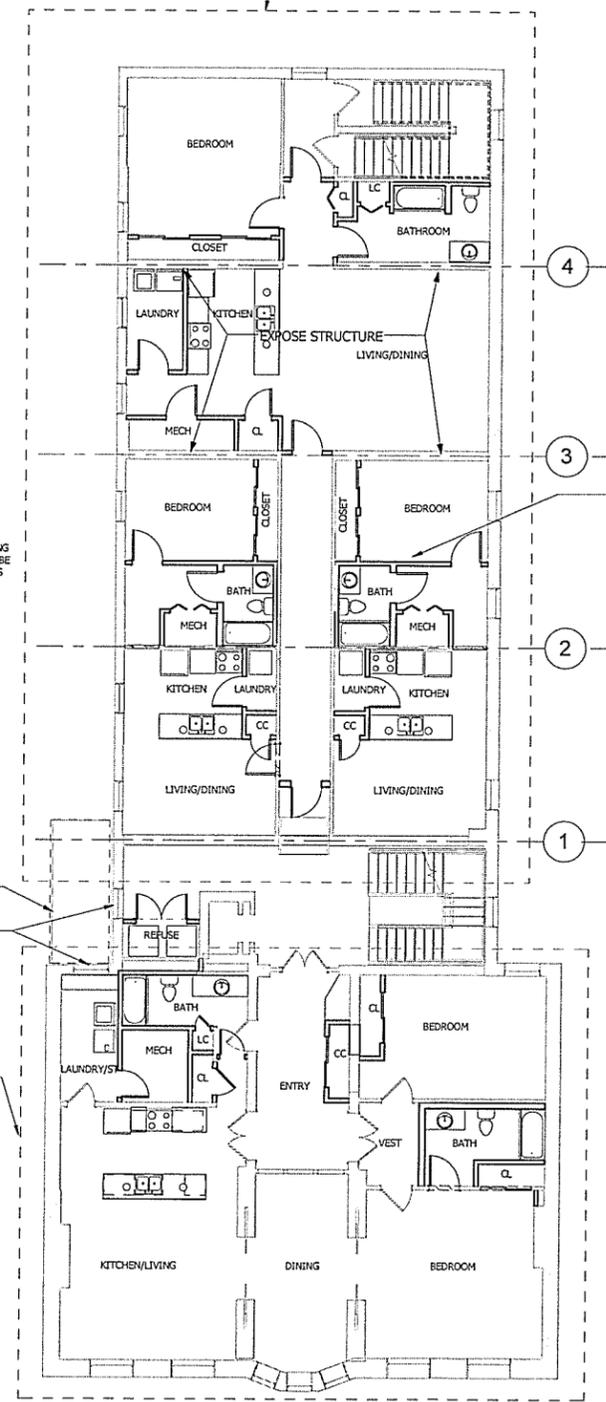
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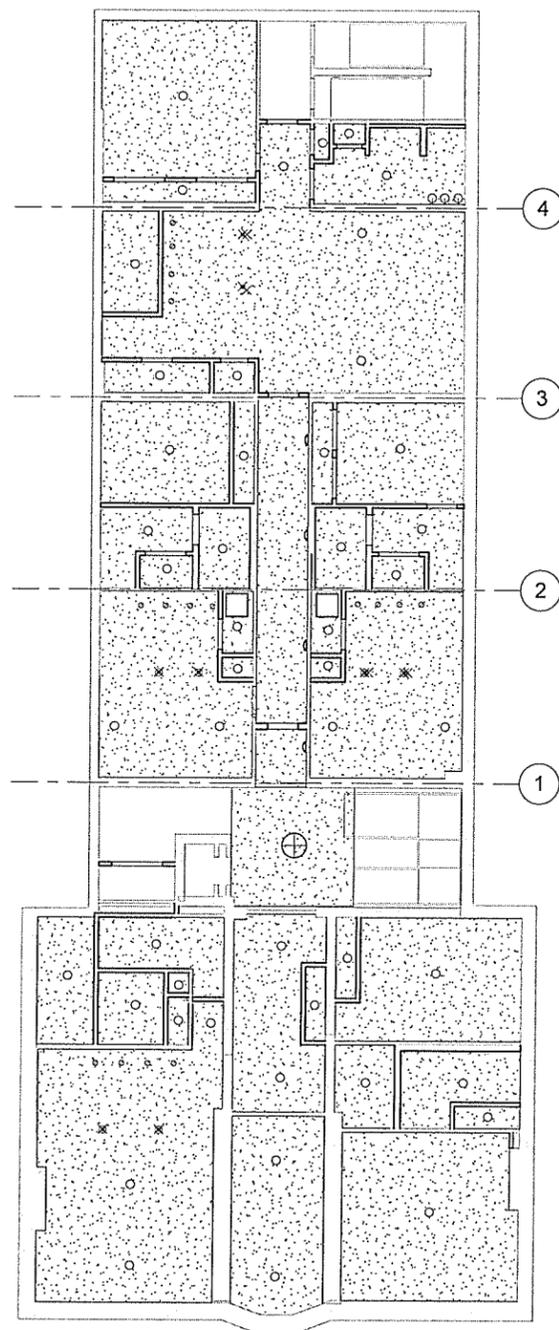
OFFICE SPACES - LAYOUT TIED (INCLUDING STAIRS: +/- 2,698 SF)



1 SECOND FLOOR PLAN - REMOVALS  
1/8" = 1'-0"

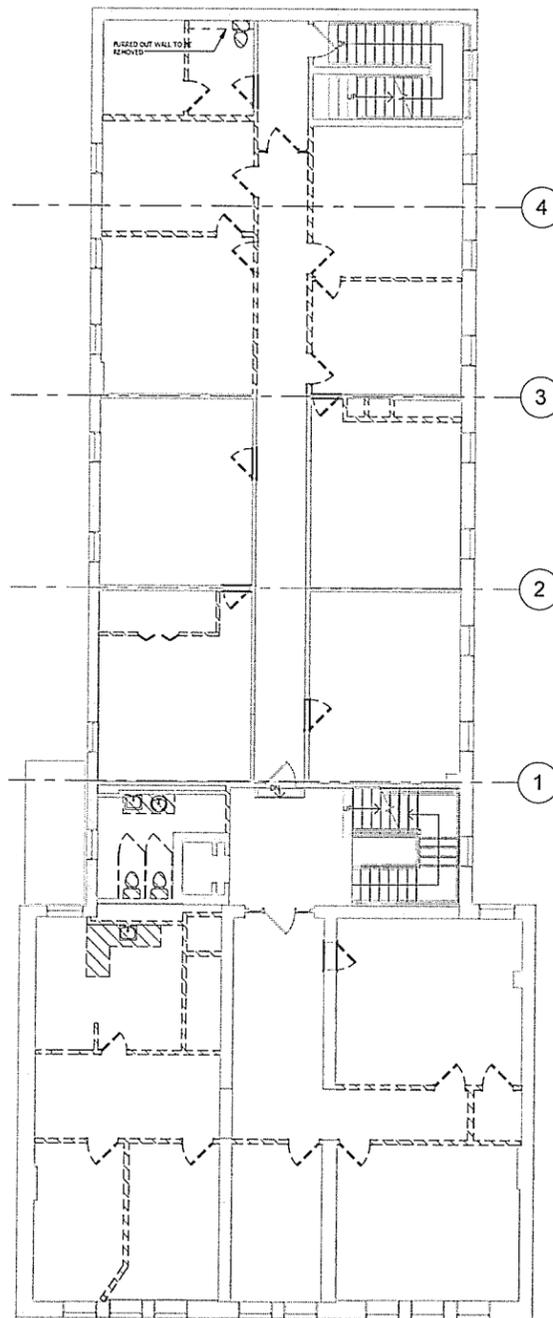


2 SECOND FLOOR PLAN - NEW CONSTRUCTION  
1/8" = 1'-0"

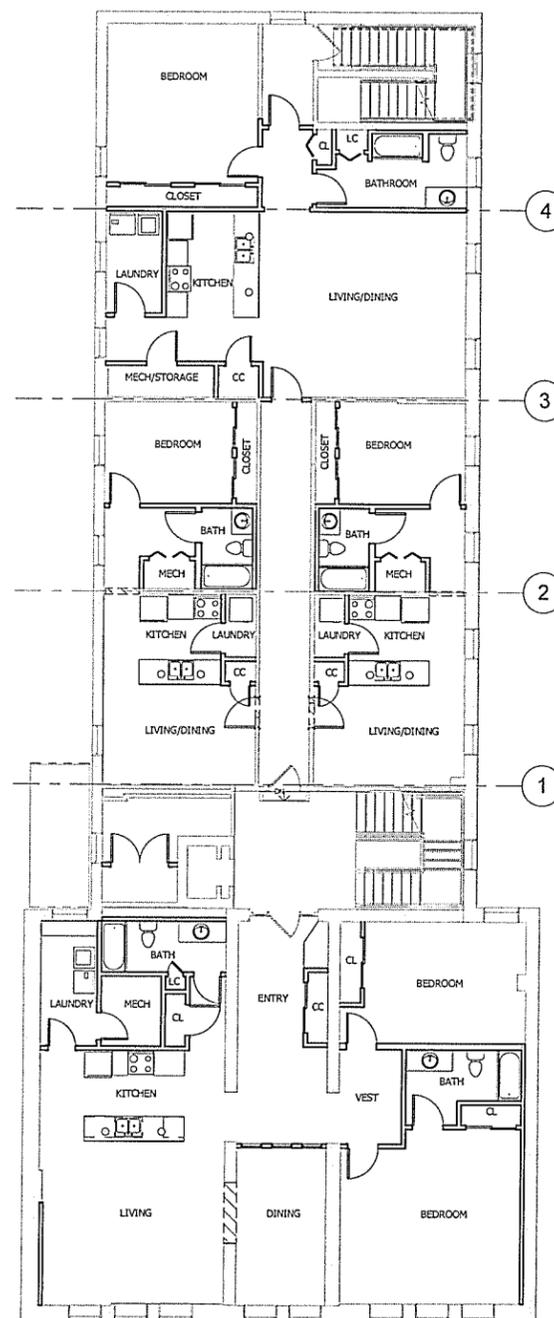


3 SECOND FLOOR - REFLECTED CEILING PLAN  
1/8" = 1'-0"

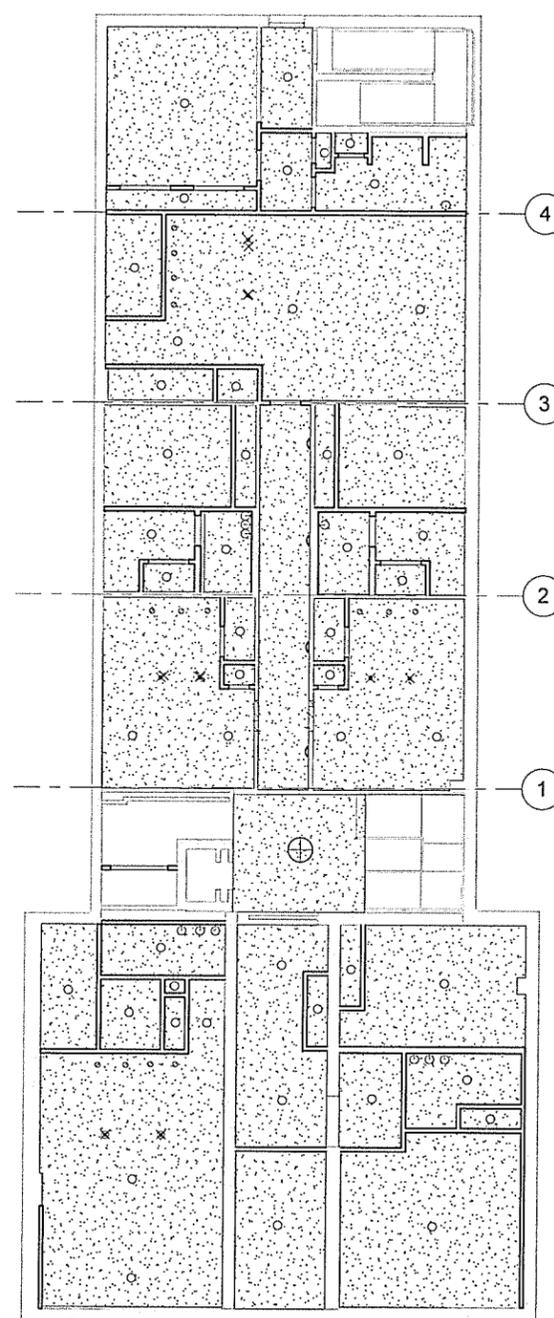




1 THIRD FLOOR PLAN - REMOVALS  
1/8" = 1'-0"



2 THIRD FLOOR PLAN - NEW CONSTRUCTION  
1/8" = 1'-0"



3 THIRD FLOOR - REFLECTED CEILING PLAN  
1/8" = 1'-0"



SEAL

REVISED LAYOUT  
FOR REVIEW

PROJECT TITLE

RENOVATIONS TO 33  
2ND STREET

33 2ND STREET TROY, NY

SHEET TITLE

THIRD FLOOR PLANS

CONSULTANT

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SN

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DATE

10/29/2014

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SHEET NO.

A1.1

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SEAL

REVISED LAYOUT FOR REVIEW

PROJECT TITLE

RENOVATIONS TO 33 2ND STREET

33 2ND STREET TROY, NY

SHEET TITLE

FOURTH FLOOR PLANS

CONSULTANT

DRAWN BY

SN

CHECKED BY

ST

DATE

10/29/2014

PROJECT NO.

14-044

REVISIONS

NO.	DESCRIPTION	DATE

PRINTED ON: 10/29/2014 3:36:00 PM



3tarchitects.com

283 RIVER STREET • TROY, NY • 12180  
PH 518 618 0900 FX 518 618 0901

SHEET NO.

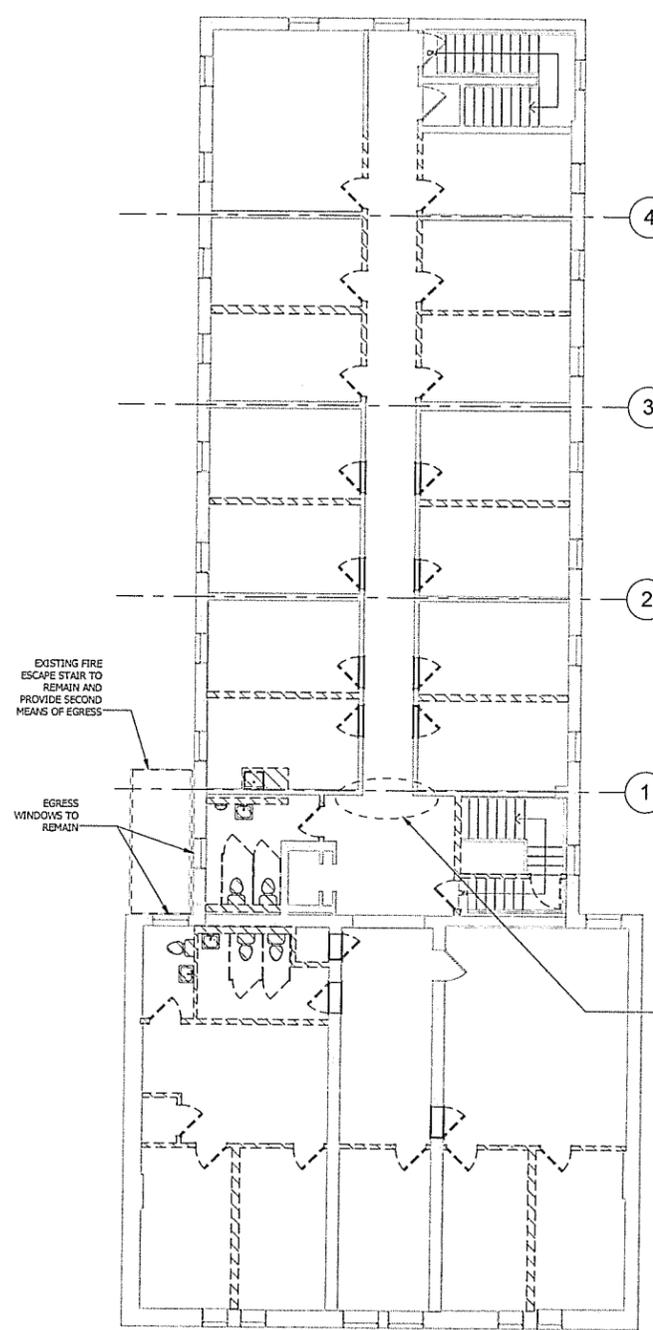
A1.2

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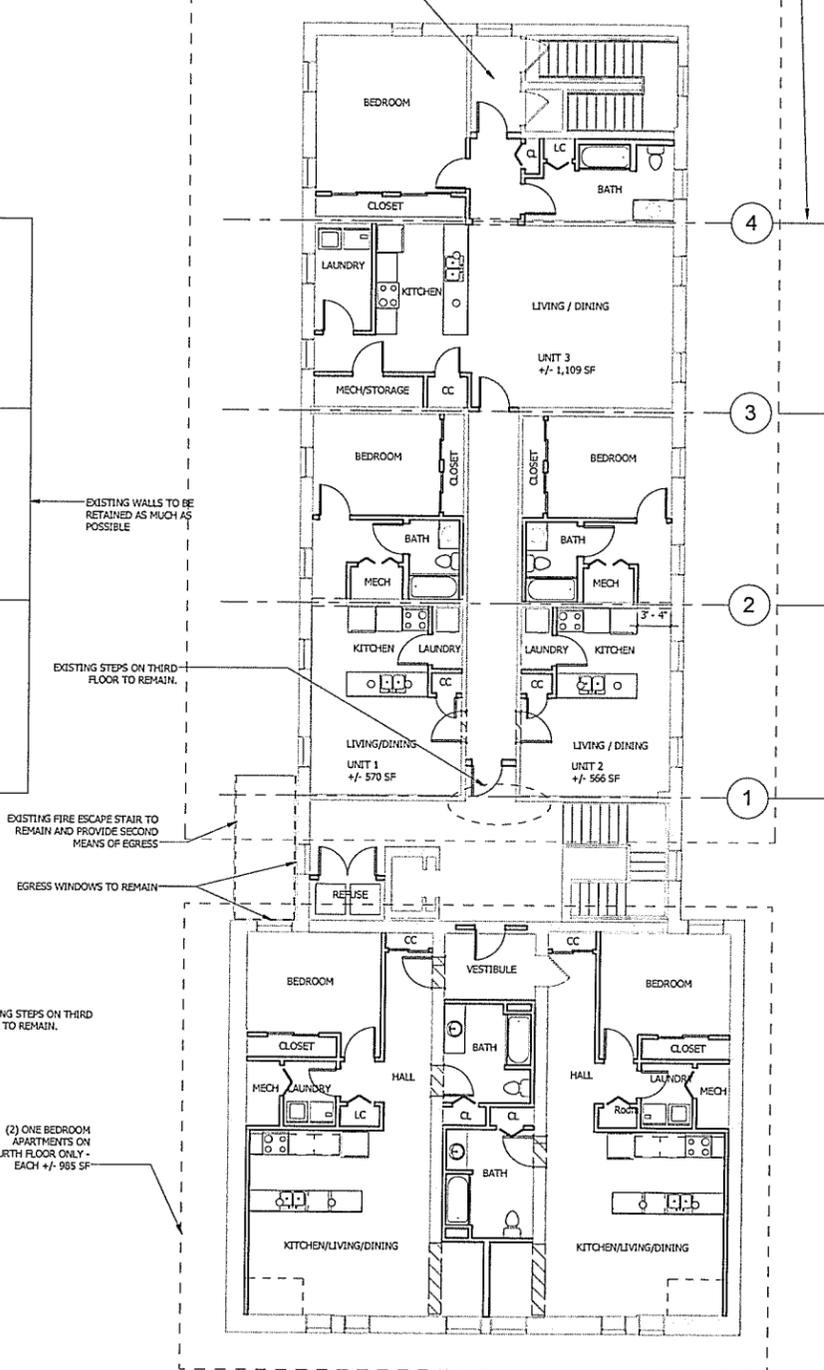
THIS DOOR IS PROPOSED ONLY ON THE FOURTH FLOOR. THE EXISTING DOOR ON THE THIRD FLOOR SHALL BE RETAINED.

EXISTING WALLS TO BE RETAINED AS MUCH AS POSSIBLE

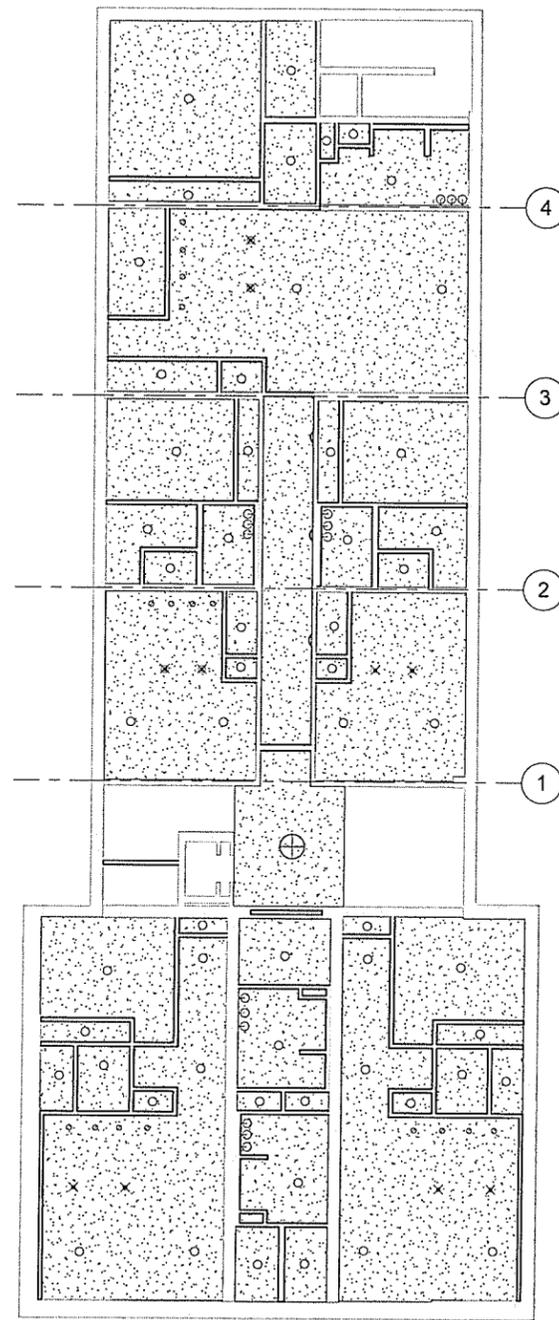
(3) RESIDENTIAL UNITS



1 FOURTH FLOOR PLAN - REMOVALS  
1/8" = 1'-0"



2 FOURTH FLOOR PLAN - NEW CONSTRUCTION  
1/8" = 1'-0"



3 FOURTH FLOOR - REFLECTED CEILING PLAN  
1/8" = 1'-0"

**Staff Report # PC2014-036**

**Applicant:** Omni Development

**Project Summary:**

**PC2014-036** Site Plan Review of a proposal to renovate and de-densify the Martin Luther King Apartments. Project location is Eddys Lane, an R-2 Zone, ID90.55-7-1. Applicant is Omni Development, 40 Beaver Street, Albany, NY 12207.

**SEORA :** Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board**

**Site Design Review:**

Applicant proposes to make alterations to the existing Martin Luther King Federal Housing Project. The MLK enhancement project is a multi-phase revitalization of the property. The project will increase green space introduce a community room and will reduce the overall property density from 120 units to 83 units. Each building will be rehabbed to include 2 3 and 4 bedroom apartments with laundry facilities. Updated facades are proposed. Tenants will be moved to other THA properties during renovation. Handicap units a proposed. Building demos will occur onsite. Apartments removed from the site will be moved into the surrounding community in a future phase. Bike trail accessibility will also occur in a future phase.

**Stipulations**

*All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.*

TROY City of Troy, New York		Zone/District
<b>Site Plan Review Application</b>		R-2 Two-Family Residential
<b>Applicant Name</b>	<b>Phone Number (s)</b>	<b>ZBA Case #</b>
OHD-MLK LLC c/o Omni Housing Development LLC 40 Beaver Street Albany, New York 12207	Phone No. ( ) - Office No. ( ) - O: 518-432-4500 Pager No. ( ) - F: 518-432-8358 Fax No. ( ) -	
<b>Property Owner</b>		<b>PC Case #</b>
Troy Housing Authority, One Eddy's Lane, Troy, New York 12180		
<i>Pursuant to the Provisions of Article 3.308, A of the Zoning Ordinance, I (we) do hereby apply to the Zoning Board of Appeals for the following:</i>		
<b>Project Location</b>	<b>Ward/Plate</b>	<b>Tax Map ID</b>
MLK Apartments, 1 - 129 Eddy's Lane, Troy		90.55-7-1
<b>Project Description</b>		
This is a two-phased project aimed at de-densification, facade improvements, interior renovation, community enhancement, and improvements to accessibility. The number of units on site will be reduced from 120 to 83. A new community room and enhanced community greenspace are proposed as part of the project.		
<b>Planning Commission Review Required</b>	<b>Current Use</b>	<b>Proposed Use</b>
Site Plan Approval	Public Housing and Troy Housing Authority Offices	Public Housing and Troy Housing Authority Offices
<b>Planning Commission Hearing Date</b>		<b>Filing Fee</b>
November 13, 2014		\$500.00
<b>RESOLUTION</b>		
<p>THE TROY CITY PLANNING COMMISSION HEREBY DIRECTS STAFF TO PROVIDE ALL APPLICANTS WITH THE FOLLOWING STATEMENT:</p> <p><i>"APPLICANTS SHOULD BE DULY ADVISED THAT ALL ELEMENTS REQUIRED FOR APPLICATION FOR SITE PLAN REVIEW MUST BE FULLY ADDRESSED. IN THE EVENT THAT THESE ELEMENTS ARE NOT ADDRESSED, THE COMMISSION RESERVES THE RIGHT TO TABLE THE APPLICATION UNTIL SUCH TIME THAT THE APPLICANT DOES ADDRESS THEM TO THE SATISFACTION OF THE COMMISSION."</i></p>		

I (we) understand that I (we) am responsible for the placement of notification signs per section 3.607 of the Zoning Ordinance.

I (we) certify that the information contained in this application and on the Site Plan(s) submitted with this application is to the best of my (our) knowledge accurate and correct and that I (we) have read and understand the above resolution and the instructions provided by the Staff.

SIGNATURE OF APPLICANT:

TIM O'BRYEN

Date Signed: 10/28/14

\*\*\* RETURN THIS APPLICATION WITH FILING FEE AND 16 SITE PLAN COPIES \*\*\*

**Short Environmental Assessment Form**  
**Part 1 - Project Information**

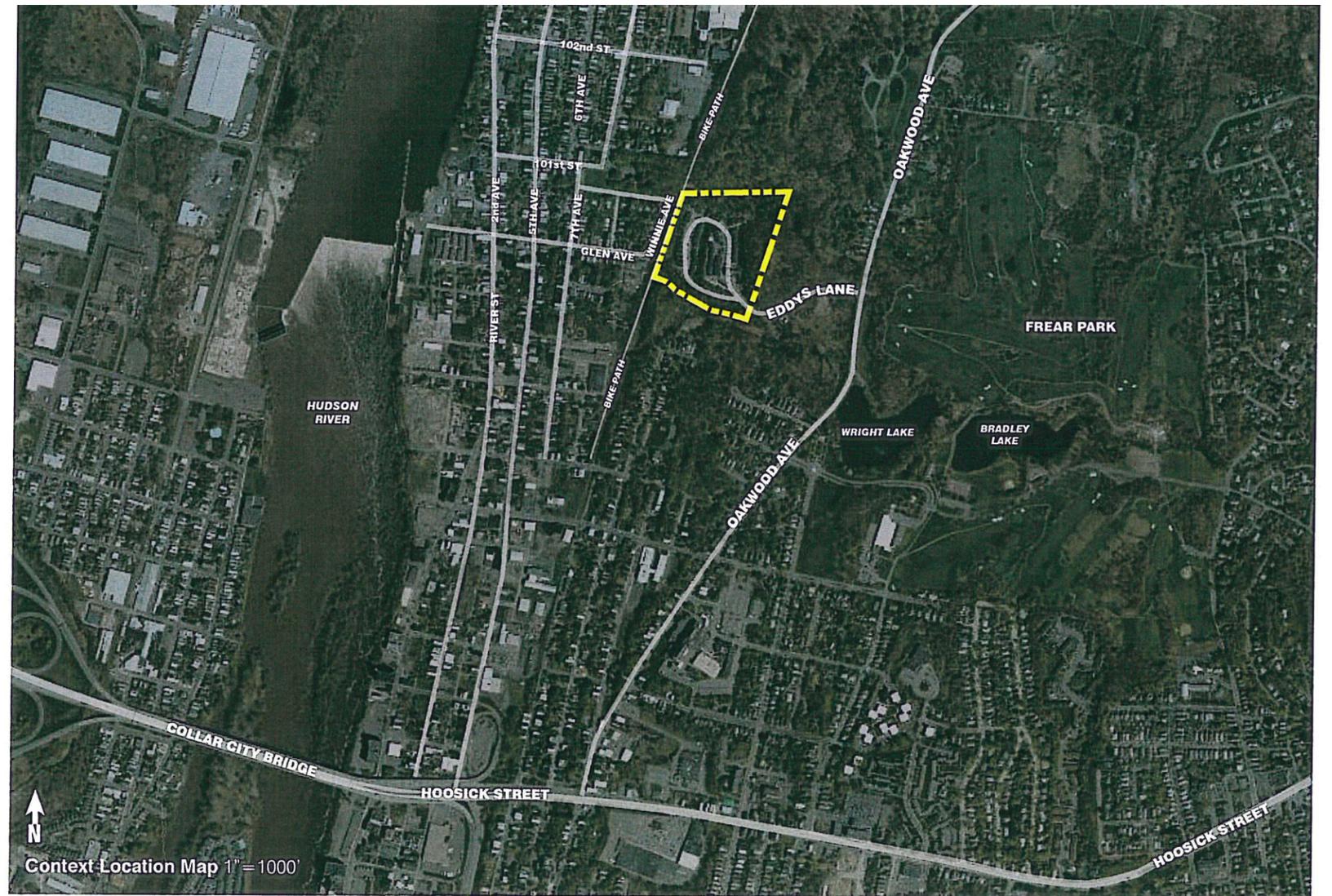
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Martin Luther King Apartments Enhancement Project			
Project Location (describe, and attach a location map): Eddy's Lane, Troy, NY			
Brief Description of Proposed Action: In order to preserve this affordable housing resource in the community, Martin Luther King (MLK) Apartments requires a major revitalization to correct deficiencies of the original design; to correct the physical deterioration which is ongoing; and to replace functionally obsolete systems. The proposed multi-phased revitalization of the property integrates the MLK site and the tenants into the surrounding community. The density of the site will be reduced to from 120 to 83 apartment units, community greenspace and a Community Building will replace the removed buildings.			
Name of Applicant or Sponsor: OHD-MLK, LLC		Telephone: (518) 432-4500 E-Mail: TOByrne@omnlhousing.com	
Address: 40 Beaver Street			
City/PO: Albany		State: NY	Zip Code: 12207
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		15.49	acres
b. Total acreage to be physically disturbed?		3.0	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		15.49	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed)-for hazardous waste? If Yes, describe: _____	NO	YES
The EAF Mapper concluded "yes" however a Phase 1 Environmental Assessment was performed for the project site that identified no spills or remediation on this site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>QHD-MLK LLC</u>	Date: <u>10/30/14</u>	
Signature: _____		



**PROJECT SITE:  
MARTIN LUTHER KING JR COMPLEX  
1 EDDY'S LANE - TROY, NY**

Zoning District: R2 Two Family Residential  
Tax Parcel: 90.55-7-1

**APPLICANT: OHD - MLK LLC**  
c/o Omni Housing Development LLC  
40 Beaver Street - Albany, NY

**October 30, 2014**

**PROPOSAL DESCRIPTION:**

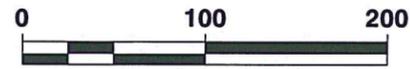
The MLK Apartments Enhancements Project is a multi-phased revitalization of the property that will significantly improve the existing facility and its connection to the neighborhood. To increase the amount of green space and provide space for a new community room, the density of the site will be reduced from 120 apartment units to 83 apartment units.

The FIRST PHASE of the project includes the gut rehabilitation of 6 of the existing buildings (which currently contain 54 units); the provision of laundry facilities for each building; and the development of a new accessible walkway from the site to the North Central Troy neighborhood. The project will result in 8 buildings containing 46 units. The new apartment unit mix includes: 12 two-bedroom units; 27 three-bedroom units; and 7 four-bedroom units. Of the 46 units there will be three-handicap accessible apartments and three apartments for the hearing and visual impaired.

The SECOND PHASE includes construction of a new accessible community building. The ideal location to site a new accessible community building is on the lower level of the site in an area that requires building demolition in both phase 1 and 2. Building improvements will also include upgrading fire safety systems and full abatement and/or encapsulation of the asbestos.

- The construction will be phased to allow continued occupancy to the maximum extent possible. The rehabilitation will make dramatic and necessary changes including:
- Gutting of each building to allow the insulation of exterior walls;
  - The replacement of all kitchens and bathrooms and the complete reconfiguration of unit layouts;
  - Window and door replacement;
  - Improved entry way lighting at porches for security;
  - A Wi-Fi Hub to connect all residents to the internet through a wireless connection as well as provide internet cable wiring to all units and the future community room; and
  - The project redevelopment is designed to meet the Energy Star Homes standard for green development.
  - Converting building roofs from flat roof systems to peaked roofs.
  - Regrading and replacement of sidewalks and parking spaces in target areas to provide three handicap accessible units.
  - Providing an accessible, well lit connection to the North Central Troy Neighborhood

## EXISTING CONDITIONS/ DE-DENSIFICATION DIAGRAM



### LIGHTING SPECIFICATIONS:

Luminaire: CP5417

Base/Pole: 5" Round; PL85E

Lamp: LED 4000K

Color: Bronze



**GENERAL NOTES**

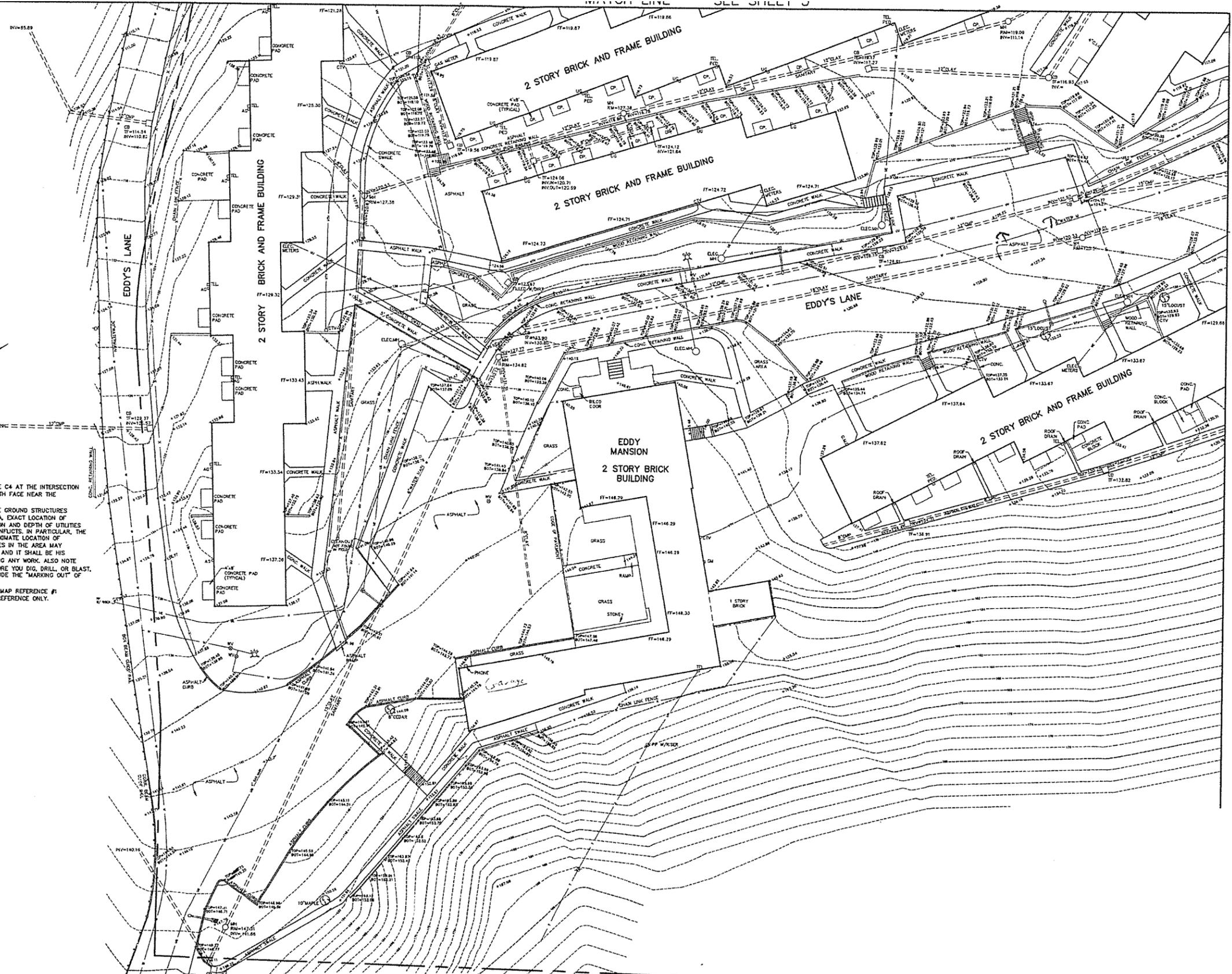
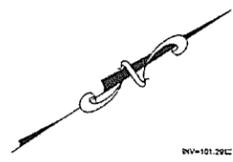
1. VERTICAL DATUM IS REFERENCED TO NAVD88 STATION NAME C4 AT THE INTERSECTION OF FIFTH AND INGALLS AVES. SET VERTICALLY IN THE NORTH FACE NEAR THE NORTHWEST CORNER OF SCHOOL NO.1, ELEVATION=34.07'
2. THE PLANS SHOW KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. LOCATION AND DEPTH OF UTILITIES ARE ONLY INDICATED TO BRING ATTENTION TO POSSIBLE CONFLICTS. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. ALSO NOTE SERVICE CONNECTIONS ARE NOT INDICATED. 72 HOURS BEFORE YOU DIG, DRILL, OR BLAST, CALL U.F.P.O. (1800)962-7862 TOLL FREE. THIS SHALL INCLUDE THE "MARKING OUT" OF PHYSICAL LOCATION OF EACH UTILITY.
3. PROPERTY INFORMATION SHOWN ON MAP WAS TAKEN FROM MAP REFERENCE #1. PROPERTY LINES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.

**MAP REFERENCES**

1. MAP ENTITLED "MARTIN LUTHER KING JR. HOUSING PROJECT" DATED NOV. 24, 1969 AND PREPARED BY EVANS & DAVIS.
2. MAP ENTITLED "MARTIN LUTHER KING JR. HOUSING PROJECT UTILITIES PLAN" DATED NOV. 4, 1969 AND PREPARED BY EVANS & DAVIS.
3. MAP ENTITLED "NEW YORK POWER & LIGHT CORP. GAS DISTRIBUTION SYSTEM, SECTIONAL GAS MAIN MAP" MAP NO. 925-286-84 DATED 8-21-40, LAST REVISED 12-1-71.
4. MAP ENTITLED "MARTIN LUTHER KING PROJECT" DATED 5-29-92 AND SUPPLIED BY TROY NEWSCHANNELS.
5. MAP ENTITLED "MARTIN LUTHER KING JR. HOUSING PROJECT" DATED 7-28-70, AND FILED IN THE RENSSELAER COUNTY CLERK'S OFFICE IN DRAWER 1970 OLD DRAWER 63 AS MAP NO.298

**LEGEND**

- UU DENOTES UNDERGROUND GAS, ELEC. & TEL.
- UE DENOTES UNDERGROUND ELECTRIC
- UTV DENOTES UNDERGROUND CABLE T.V.
- OAG ROOF DRAIN W/ ABOVE GROUND DRAINAGE
- OUG ROOF DRAIN W/ UNDERGROUND DRAINAGE
- CP. 4' x 8" CONCRETE PAD
- TEL TELEPHONE PEDESTAL
- EM ELECTRIC METER
- CIV CABLE TV PEDESTAL



MATCH LINE SEE SHEET 5

<p><b>BOSWELL ENGINEERING</b> ENGINEERS - SURVEYORS - PLANNERS - SCIENTISTS</p>	<p><b>BRUCE D. BOSWELL, P.E.</b> NEW YORK STATE LIC. NO. 067219</p>	<p>TOPOGRAPHIC SURVEY <b>MARTIN LUTHER KING COMPLEX</b> CITY OF TROY</p>
	<p><b>BOSWELL ENGINEERING</b> 58 SHERIDAN AVE., ALBANY, N.Y. 12210 518-436-6310</p>	<p>COUNTY OF RENSSELAER STATE OF NEW YORK SURVEYED BY: DCS CHECKED BY: BPW DATE: MARCH 1993 DRAWN BY: DCC JOB NO.: AS-03 DWG NO.: AS-05-1</p>

**GENERAL NOTES**

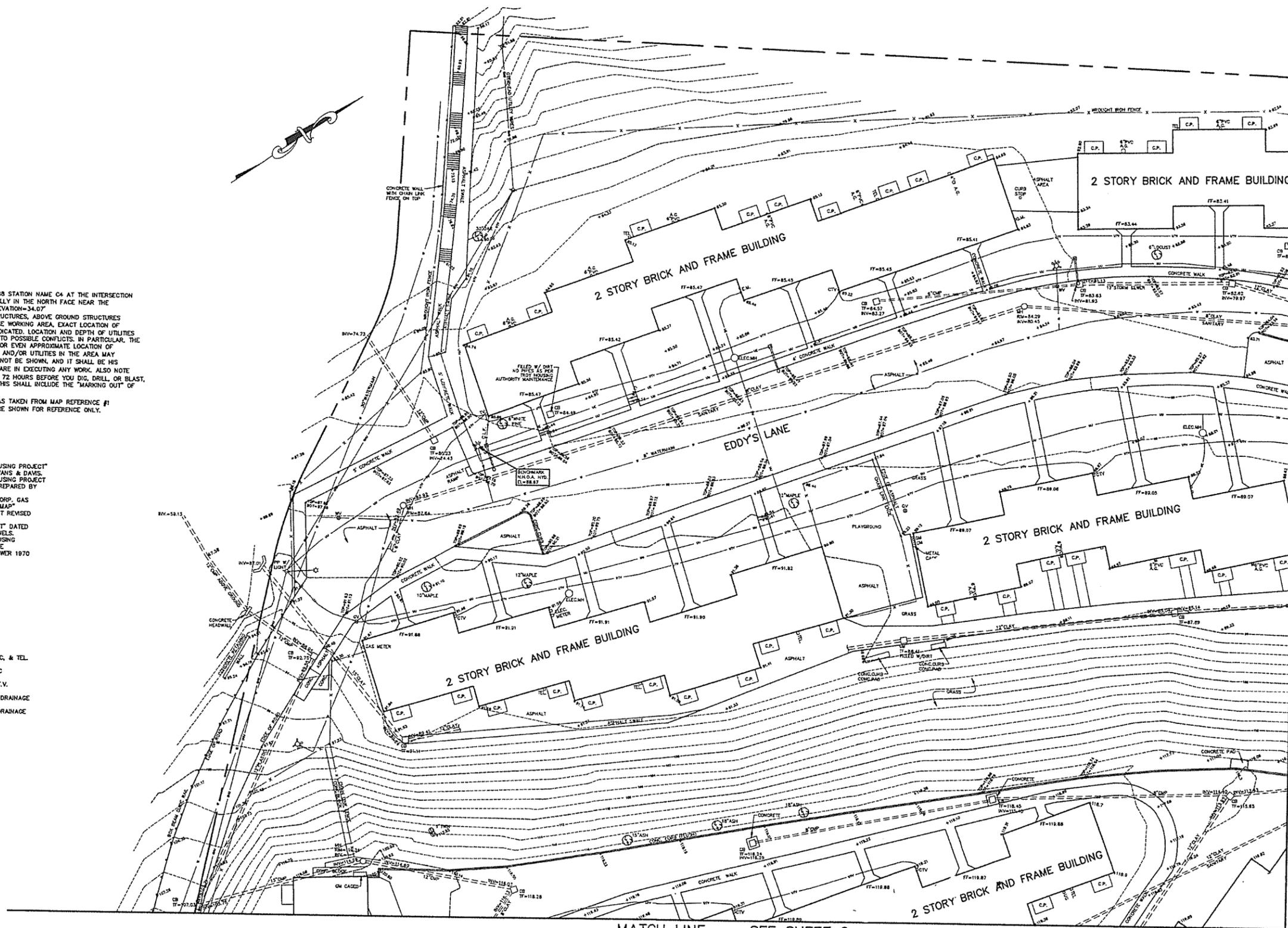
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**LEGEND**

- UU DENOTES UNDERGROUND GAS, ELEC. & TEL.
- UE DENOTES UNDERGROUND ELECTRIC
- UTV DENOTES UNDERGROUND CABLE T.V.
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- CTV CABLE TV PEDESTAL

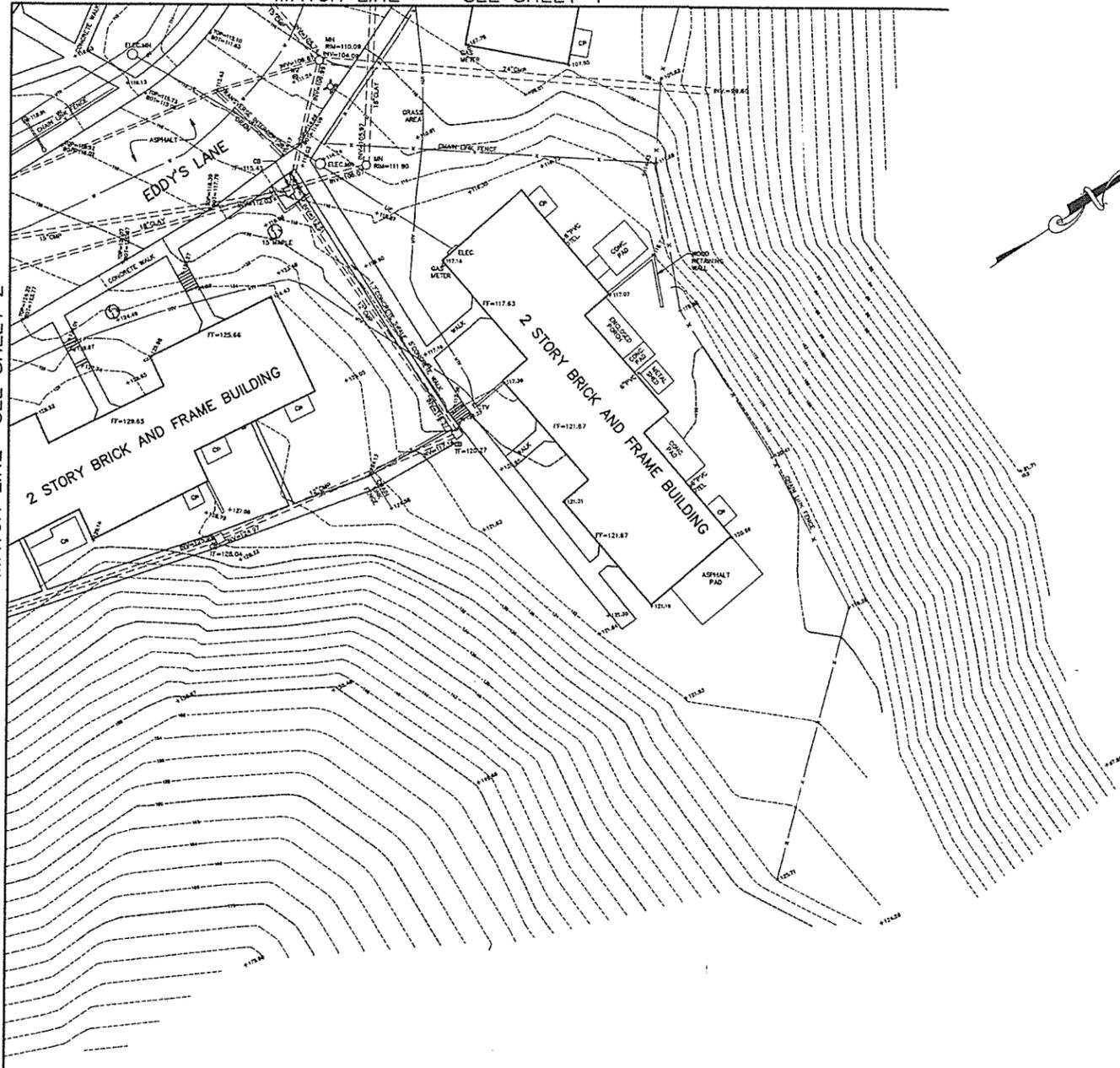


SEE SHEET 4  
MATCH LINE

MATCH LINE SEE SHEET 2

<p style="font-size: 24pt; font-weight: bold; margin: 0;">Boswell</p> <p style="font-weight: bold; margin: 0;">ENGINEERING</p> <p style="font-size: 10pt; margin: 0;">ENGINEERS - SURVEYORS - PLANNERS - SCIENTISTS</p>	BRUCE D. BOSWELL, P.E. NEW YORK STATE LIC. NO. 087219	TOPOGRAPHIC SURVEY TROY HOUSING AUTHORITY MARTIN LUTHER KING COMPLEX CITY OF TROY
	BOSWELL ENGINEERING 58 SHERIDAN AVE., ALBANY, N.Y. 12210 518-436-6310	COUNTY OF RENSSELAER STATE OF NEW YORK SURVEYED BY: DDB    CHECKED BY: MPW    DATE: APRIL 1995 DRAWN BY: DDB    JOB NO. AS-23    DWG NO. AS-23-2

MATCH LINE SEE SHEET 2



**GENERAL NOTES**

1. ALL STORM SEWER AND SANITARY SEWER ELEVATIONS ARE REFERENCED TO U.S.G.S. DATUM.
2. THE PLANS SHOW KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. LOCATION AND DEPTH OF UTILITIES ARE ONLY INDICATED TO BRING ATTENTION TO POSSIBLE CONFLICTS. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. ALSO NOTE SERVICE CONNECTIONS ARE NOT INDICATED. 72 HOURS BEFORE YOU DIG, DRILL, OR BLAST, CALL U.P.S. (1800)92-7892 TOLL FREE. THIS SHALL INCLUDE THE "MARKING OUT" OF PHYSICAL LOCATION OF EACH UTILITY.
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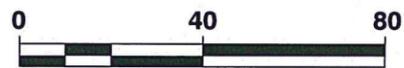
**LEGEND**

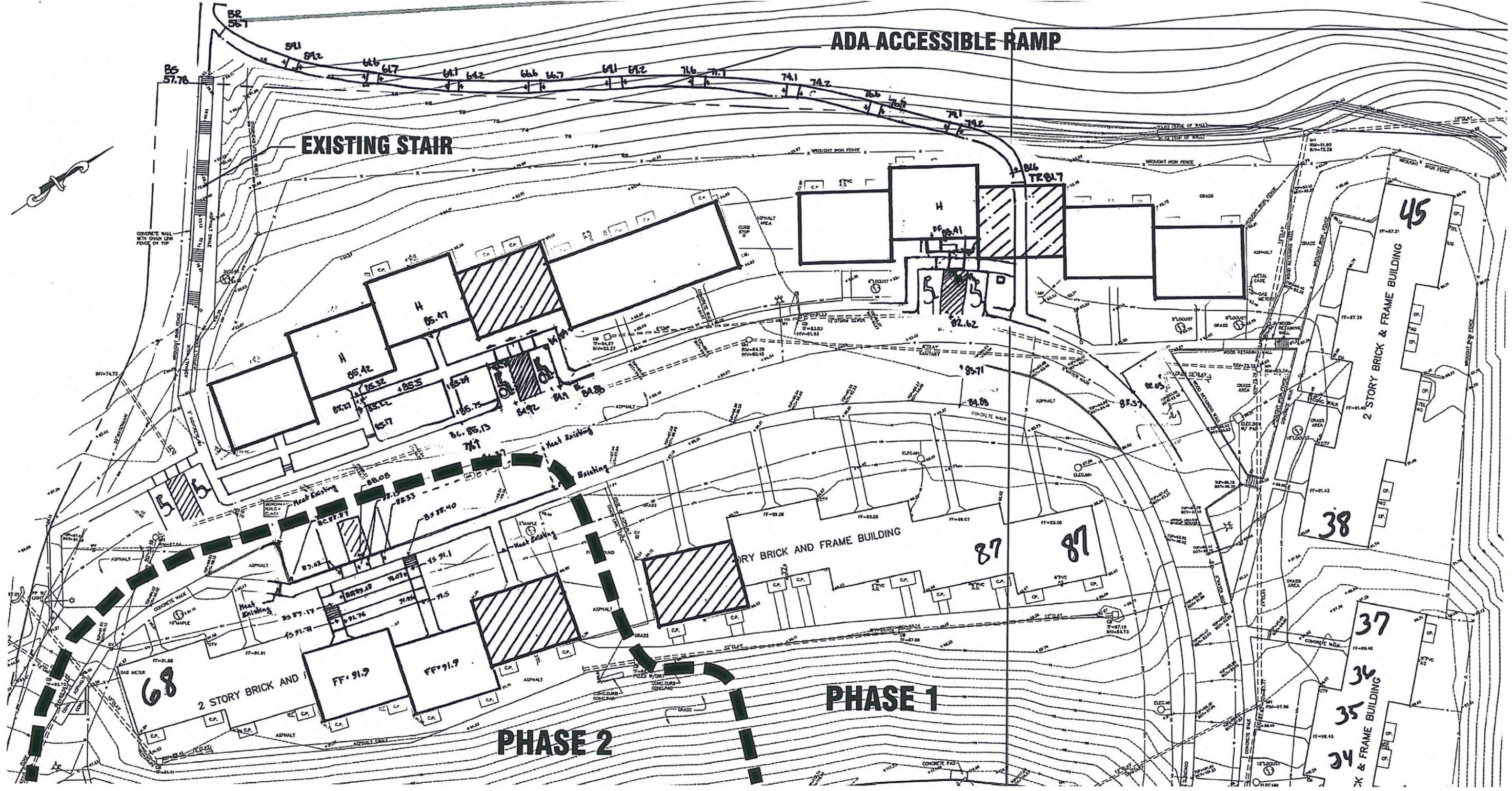
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 <p><b>Boswell</b> ENGINEERING ENGINEERS - SURVEYORS - PLANNERS - SCIENTISTS</p>	<p><b>BRUCE D. BOSWELL, P.E.</b> NEW YORK STATE LIC. NO. 067219</p>	<p>TROY HOUSING AUTHORITY</p>	<p>TOPOGRAPHIC MAP <b>MARTIN LUTHER KING COMPLEX</b> CITY OF TROY COUNTY OF RENSSELAER STATE OF NEW YORK</p>
	<p><b>BOSWELL ENGINEERING</b> 58 SHERIDAN AVE., ALBANY, N.Y. 12210 518-436-8210</p>	<p>SURVEYED BY: DGS DRAWN BY: GDC</p>	<p>CHECKED BY: MPW JOB NO. 495-05</p>
<p>SCALE 1" = 20' SHEET 5 OF 5</p>			



**PROPOSED SITE PLAN / ACCESSIBILITY PLAN**





**ACCESSIBLE ROUTES PLAN**

ADA Accessible Ramp Connection to the North Central Neighborhood: Ramp construction will utilize low segmental block retaining walls on either side of ramp where required. Ramp drainage will be accommodated by a perforated pipe underdrain system in combination with a surface drainage swale and yard drain system that will intercept the runoff coming down the slope.



STAMP:

PROGRESS DRAWINGS  
 10.6.2014

© RIDA ARCHITECTURE, PLLC  
 I HAVE ORDERED USE AS A TESTIMONY OF ACCORD  
 TO THE DRAWING & IN VIOLATION OF THE NEW  
 YORK STATE EDUCATION LAW ARTICLE 142,  
 SECTION 7208

CONSULTANT:

CLIENT:

MLK ASSOC. LP  
 40 BEAVER STREET  
 ALBANY, NEW YORK 12207

PROJECT:

MARTIN LUTHER KING  
 REVITALIZATION - PHASE ONE  
 1 EDDY'S LANE  
 TROY, NEW YORK 12180

REVISION

NO.	

DATE: 12.04.2014

CONTRACT NUMBER: 1

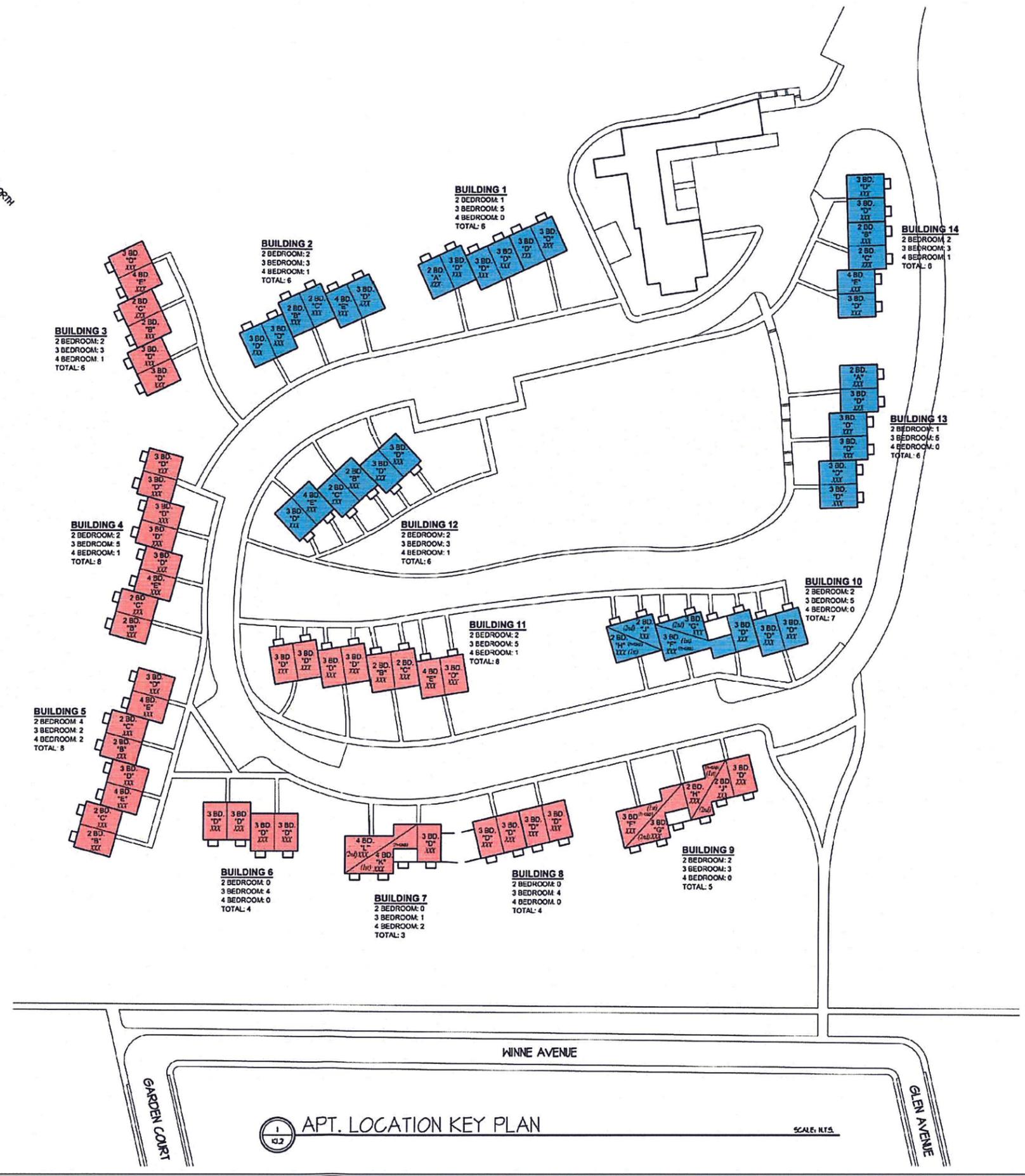
DRAWN BY: L.E.R.

CHECKED BY: D.R.

PROPOSED  
 APARTMENT KEY  
 PLAN

K1.2

LEGEND	
	PHASE 1
	PHASE 2
	PHASE 1 - NEW CONSTRUCTION
	PHASE 2 - NEW CONSTRUCTION
113	= APARTMENT ADDRESS NUMBER
1 BD.	= BEDROOM COUNT
"R"	= APARTMENT FLOOR PLAN TYPE
(v)	= VISITABILITY
(h&v)	= HEARING & VISUALLY IMPAIRED
(h-cap)	= HANDICAP
(b-ansi)	= ANSI 117.1 type B apartment



**MATERIALS:**

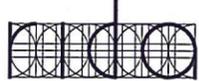
Existing brick to remain

Painted cement/hardy board siding

Pitched roofs with architectural asphalt shingles



MARTIN LUTHER KING APARTMENTS



RIDA Architecture, PLLC  
2022 Western Avenue  
Albany, New York 12203  
Tel 518.713.4537  
Fax 518.687.0935

© RIDA ARCHITECTURE, PLLC  
These are schematic level plans and preliminary  
designs. They are not intended for construction and  
cannot be used for construction. They are for  
reference purposes only. Use without consent, alteration  
or addition is prohibited. In violation of the New  
York State Education Law Article 13, Section 7205.

CLIENT:  
**MLK  
ASSOCIATES  
L.P.**  
40 BEAVER STREET  
ALBANY, NEW YORK 12207

PROJECT:  
MARTIN LUTHER KING  
REVITALIZATION - PHASE 1  
1 EDDYS LANE  
TROY, NEW YORK 12180

DATE: 10.01.2014  
**PROPOSED BUILD.  
ELEVATION**

**Staff Report # Conceptual**

**Applicant:** Stewarts Shops

**Project Summary:**

Stewarts Shop Expansion Project location is 100 Northern Drive, a B-1 Zone, ID 80-3-4. Applicant is Stewarts Shops, PO Box 435 Saratoga Springs NY 12866.

**SEORA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board**

**Approved Special Use Permit for the expansion of a nonconforming use**  
**Approved Major Area Variance for excessive lot size**

**Site Design Review:**

***Overview***

Applicant proposes to demolish an existing Stewarts Shop and adjacent commercial building and construct a new 3,800 SF Stewarts Shop with expanded gas islands totaling 12 pumps under 2 separate canopies.

***Fuel***

Existing tanks and fuel capacity to remain. 2 canopies to be constructed with a total of 12 pumps. This expansion was approved by the Zoning Board November 2014.

***Egress / Ingress***

Oakwood Ave access to be moved south approximately 20 feet. Northern Drive Access to remain unchanged.

***Parking / Internal Traffic Flow***

Applicant will provide 21 striped parking spaces.

Applicant provides sufficiency turning radii for larger truck traffic / fuel delivery and box truck(s).

***Elevations***

Applicant provides elevations in accordance with Stewarts Shops new branding efforts.

**Stipulations**

Increase sewer lateral to 6inch  
Provide site plan with topography  
Provide drainage and runoff plan  
Provide landscape plan  
Provide retaining wall details if necessary

*All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.*

<b>TROY</b>		<b>Site Plan Review Application</b> City of Troy, New York		<b>Zone/District</b>	
<b>Applicant Name</b>		<b>Phone Number (s)</b>		<b>ZBA Case #</b>	
Stewart's shops Corp. PO Box 735 Saratoga Springs NY 12866		Phone No. ( ) 518-584-1201 Office No. ( ) - Pager No. ( ) - X4415 Fax No. ( ) -			
<b>Property Owner</b>				<b>PC Case #</b>	
applicant					
<b>Property Address</b>				<b>PC Status</b>	
Guns Realty 312 Oakwood Ave Troy					
Pursuant to the Provisions of Article 3.308, A of the Zoning Ordinance, I (we) do hereby apply to the Zoning Board of Appeals for the following:					
<b>Project Location</b>		<b>Ward/Plate</b>		<b>Tax Map ID</b>	
312 Oakwood Ave				80.000-0003-005	
100 Northern Dr				80.000-0003-004	
<b>Project Description</b>					
construct a 3,897 sq ft bldg w/ self serve gas and conv. store demolish ext vacant comm bldg					
<b>Planning Commission Review Required</b>		<b>Current Use</b>		<b>Proposed Use</b>	
		conv store w/ gas vacant comm bldg		conv store w/ gas	
<b>Planning Commission Hearing Date</b>				<b>Filing Fee</b>	
<b>RESOLUTION</b>					
<p>THE TROY CITY PLANNING COMMISSION HEREBY DIRECTS STAFF TO PROVIDE ALL APPLICANTS WITH THE FOLLOWING STATEMENT:</p> <p>"APPLICANTS SHOULD BE DULY ADVISED THAT ALL ELEMENTS REQUIRED FOR APPLICATION FOR SITE PLAN REVIEW MUST BE FULLY ADDRESSED. IN THE EVENT THAT THESE ELEMENTS ARE NOT ADDRESSED, THE COMMISSION RESERVES THE RIGHT TO TABLE THE APPLICATION UNTIL SUCH TIME THAT THE APPLICANT DOES ADDRESS THEM TO THE SATISFACTION OF THE COMMISSION."</p>					

I (we) understand that I (we) am responsible for the placement of notification signs per section 3.607 of the Zoning Ordinance.

I (we) certify that the information contained in this application and on the Site Plan(s) submitted with this application is to the best of my (our) knowledge accurate and correct and that I (we) have read and understand the above resolution and the instructions provided by the Staff.

SIGNATURE OF APPLICANT:

Jennifer B Howard Date Signed: 10/27/14

\*\*\* RETURN THIS APPLICATION WITH FILING FEE AND 16 SITE PLAN COPIES \*\*\*

**Short Environmental Assessment Form**  
**Part 1 - Project Information**

**Instructions for Completing**

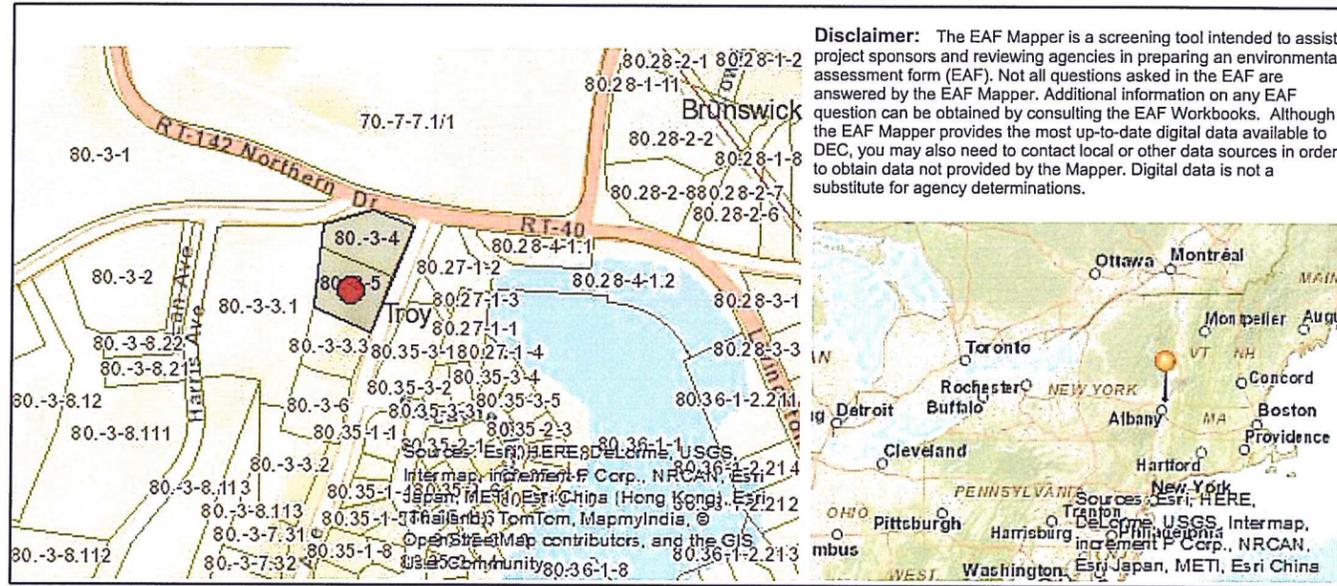
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Stewart's Shop #368			
Project Location (describe, and attach a location map): 312 Oakwood Ave., 100 Northern Drive			
Brief Description of Proposed Action: construct a 3,897 square foot convenience store with self serve gas demolish adjacent vacant commercial building demolish existing convenience store			
Name of Applicant or Sponsor: Stewart's Shops Corp.		Telephone: 581-1201 x4415	
Address: PO Box 435		E-Mail: jhoward@stewartsshops.com	
City/PO: Saratoga Springs		State: NY	Zip Code: 12866
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: PB-site plan, ZBA-variance, DOT-curb cuts			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? <span style="float: right;">65,820 acres</span>			
b. Total acreage to be physically disturbed? <span style="float: right;">65,820 acres</span>			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">65,820 acres</span>			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES catch basins _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	<b>NO</b>  <input checked="" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	<b>NO</b>  <input checked="" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input checked="" type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Stewart's Shops Corp</u> Date: <u>10/22/14</u> Signature: <u><i>Jennifer Howard</i></u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes